

ADDENDUM NUMBER TWO

March 14th, 2016

AVC APPLIED ARTS BUILDING RENOVATION

3041 WEST AVENUE K
LANCASTER, CA 93536

Issued By:

KRUGER BENSEN ZIEMER ARCHITECTS, INC.

30 West Arrellaga Street
Santa Barbara, CA 93101

To all bidders submitting proposal for the captioned project. This Addendum is hereby made part of the Contract Documents to the same extent as though it was originally included therein and takes precedence over the original documents and addenda.

Acknowledge receipt of the Addendum on Form of Proposal

A. PROJECT MANUAL

ITEM NO. 1.1 :

Reference Specification Section 01011 Work Scope Special Conditions

Replace specification section 01011 Work Scope Special Conditions in its entirety with the attached 01011 Work Scope Special Conditions.

ITEM NO. 1.2:

Specification 099123- Interior Painting

Revised specification section 099123, replace entirety with the attached 099123 specification.

ITEM NO. 1.3:

Specification 115200 – Audio Visual Equipment

Revised specification section 115200, changed to manually operated projector screens, replace entirety with the attached 115200 specification.

B. DRAWINGS

ITEM NO. 1.1:

Replace the following sheets in their entirety:

AD-101 See Clouded Addendum No 2 Items

AD-102 See Clouded Addendum No 2 Items

A-101 See Clouded Addendum No 2 Items

- A-103 See Clouded Addendum No 2 Items
- A-201 See Clouded Addendum No 2 Items
- A-202 See Clouded Addendum No 2 Items
- A-401 See Clouded Addendum No 2 Items
- A-504 See Clouded Addendum No 2 Items
- A-602 See Clouded Addendum No 2 Items
- P-200 See Clouded Addendum No 2 Items
- E-001 See Clouded Addendum No 2 Items
- E-002 See Clouded Addendum No 2 Items
- E-200 See Clouded Addendum No 2 Items
- E-201 See Clouded Addendum No 2 Items

C. ATTACHMENTS

I. SPECIFICATIONS

Section 099123 Interior Painting

Section 115200 Audio Visual Equipment

II. DRAWINGS

- AD-101 Demo Floor Plan
- AD-102 Demo RCP
- A-101 Partial Site Plan
- A-103 Reflected Ceiling Plan
- A-201 Interior Elevations
- A-202 Interior Elevations
- A-401 Enlarged Floor Plan
- A-504 Interior Details
- A-602 Room Finish Schedule
- P-200 Plumbing Demo Floor Plan
- E-001 Electrical Legend, Symbol, List & General Notes

E-002 Panel Schedules

E-200 Partial Electrical Demo Plan

E-201 Partial Electrical Plan

END OF ADDENDUM NUMBER TWO

ANTELOPE VALLEY COMMUNITY COLLEGE - APL ME RENOVATIONS

WORK SCOPE SPECIAL CONDITIONS

CONTRACTOR CATEGORY NUMBER				
ITEM:	DESCRIPTION:	4	21	22
1	Contractor shall not interfere with the normal, regular, or existing business operations or activities of the College at the project site.	yes	yes	yes
2	Properly protect existing improvements scheduled to remain when performing work within this category.	yes	yes	yes
3	Properly & completely coordinate all work through the Construction Manager to ensure that all work is properly and efficiently installed per the project manual.	yes	yes	yes
4	All daily reports shall be turned into the Construction Manager on a daily basis.	yes	yes	yes
5	All deliveries and material or equipment moving between construction areas shall be coordinated and approved by the Construction Manager prior to commencement.	yes	yes	yes
6	This Contractor shall include all site visits as requested by the Construction Manager with the purpose of coordinating with the applicable Category Contractors. This Contractor shall also provide, all layouts for the integration of work between this Category and the applicable Categories.	yes	yes	yes
7	Utilize suitable equipment for traversing the site, hauling or relocating of materials, and/or erection of items within this trade regardless of soils conditions or grades at no additional cost or delay to the schedule.	yes	yes	yes
8	Contractors within this category shall pay and maintain cell phone numbers for their project foreman throughout the duration of this project.	yes	yes	yes
9	Provide all job verification and field measuring as may be needed and/or required to ensure that the work is coordinated and fits properly.	yes	yes	yes
10	Repair any and all finishes damaged as a result of the execution of the work in this category.	yes	yes	yes
11	Provide cleanup on a daily basis to insure a clean and safe & accessible work environment.	yes	yes	yes
12	Contractor to provide trash containers and/or properly dispose of waste, trash, lunch trash and debris. This includes procurement of all hauling permits and/or dump fees which may be required. This applies equally to any/all subcontractors employed by the Prime Contractor.	yes	yes	yes
13	Be advised - the project site is located in an area of potential high winds. The protection against and prevention of wind damage to incomplete work or on-site stored materials is the responsibility of the contractor.	yes	yes	yes
14	Be advised - the project site is located in an area of potential high heat. The protection against and prevention of heat damage to incomplete work or on-site stored materials is the responsibility of the contractor.	yes	yes	yes
15	The Construction Manager will set the construction working hours on site.	yes	yes	yes
16	Completely furnish all cutting and patching as required in all existing construction including finishes due to the installation of work of this category contractor.	yes	yes	yes
17	Coordinate through Facilities to sign out a parking pass and badge for each employee.	yes	yes	yes
18	Parking areas shall be designated by the Construction Manager.	yes	yes	yes
19	The Construction Manager will review and approve the placement of all temporary storage containers, trailers and stored materials.	yes	yes	yes

ANTELOPE VALLEY COMMUNITY COLLEGE - APL ME RENOVATIONS

WORK SCOPE SPECIAL CONDITIONS

CONTRACTOR CATEGORY NUMBER				
ITEM:	DESCRIPTION:	4	21	22
20	It shall be established that any materials delivered "Freight on Board" (FOB) shall be unloaded by the Category Contractor that is receiving these items, any discrepancy in quantities or any damage to any items must be acknowledged at the time of delivery. Any discrepancy in quantity or damage that goes unreported shall be the responsibility of the receiving Category Contractor to replace and/or repair.	yes	yes	yes
21	Provide all barricades, warning lights and signs & safety measures etc. required for the execution of the work within this category.	yes	yes	yes
22	Contractor shall verify and keep all existing systems fully operational as they execute the scope of work within this contract.	yes	yes	yes
23	Provide all demolition as indicated on the project documents unless otherwise noted within this work scope special conditions.	yes		
24	Provide all demolition activities associated with electrical work; conduit, circuits, lights, switches, receptacles, etc.	no	no	yes
25	Provide all demolition activities associated with mechanical work; control conduit, control wire, thermostats, registers etc.	no	yes	no
26	Provide moisture & PH testing prior to commencement of prep/patch for the flooring installation for verification that the existing substrate does not exceed the manufactures recommendations for moisture vapor emission and PH levels.	yes		
27	Provide and maintain all temporary chemical toilets and temporary had wash stations for the duration of the project. A minimum of 2 toilets and 1 hand station at each building staging area shall be provided and may be adjusted based upon the quantity of manpower present on the jobsite. Provide twice a week cleaning.	yes	no	no
28	Provide any and all security measures for the door openings once the frames have been demolished until the new openings have been secured with the new frames, doors and hardware.	yes	no	no
29	This Category Contractor shall verify existing ADA path of travel indicated on documents. If discrepancies are present, issue RFI for direction.	yes	no	no
30	Provide and install all corner guards shown on contract documents.	yes		
31	Provide and install fume hood and associated items for a complete and operable system.	yes		
32	This Category Contractor to include all plumbing activities as shown on Plumbing Drawings and Specifications	yes	no	no
33	Provide and install the operable wall and all associated work to provide a complete and operable system per A-301 and S-101 and associated specifications (with exception to power- which is supplied by the Category 22 Contractor).	yes		no
34	<i>Provide all final power termination to all equipment including Owner Furnished items. Contractor to provide matching plug and cord for all equipment</i>			yes
35	Provide and install projector mount per detail 10 on sheet A-501 including T-bar escutcheons.	no		yes
36	Provide and install all door and room signage and per sheet A-601.	yes		
37	Provide and install tv mounts per detail 10 on sheet S-101.	no		yes

ANTELOPE VALLEY COMMUNITY COLLEGE - APL ME RENOVATIONS

WORK SCOPE SPECIAL CONDITIONS

CONTRACTOR CATEGORY NUMBER				
ITEM:	DESCRIPTION:	4	21	22
38	This Category Contractor shall include all saw cutting, demolition, trenching, installation of pipe, bedding, backfill and patch for new underground plumbing.	yes	no	no
39	Provide and install structural members shown on S-101 (APL).	yes	no	no.
40	Include all proper shut down activities, draining of existing systems during non school operation hours so as not to disrupt regular schedule activities at the site. Advise the Construction Manager 48 hours ahead of scheduled shut downs.	yes	yes	yes
41	Provide all caulking/ joint sealers shown on the contract documents and spelled out within the specifications for ALL trades. (not including fire caulking)	yes	no	no
42	Each Category Contractor shall be responsible for any penetrations through a fire rated wall- whether shown on the drawings or not.	yes	yes	yes
43	This Category Contractor shall provide all ADA landings as described in detail 2 on sheet A-101(ME)	yes		
44	Provide and install all mechanical units as shown on the Mechanical Drawings (ME) including all mounting racks, suspensions systems in their entirety and as detailed on 3 on sheet S-101 (ME), detail 3 on sheet S-1-1 (ME), detail 2 on sheet S-101 (ME) and all details shown on sheet M-301.	no	yes	
45	This Category Contractor is responsible for the entire condensate drain system as shown on the Mechanical Drawings	no	yes	
46	This Category Contractor shall weather tight roof after all penetrations have been performed on the roof of Building ME for their respective work.		yes	
47	This Category Contractor shall provide all equipment pads for all trades.	yes	no	no
48	Disconnect electrical from abandoned mechanical equipment so the Category 21 Contractor may perform their demolition activities.	no	no	yes
49	Disconnect controls and associated devices from abandoned mechanical equipment.		yes	no
50	Remove and weigh the existing refrigerant from DX system. Provide proper documentation and disposal per applicable law.	no	yes	no
51	Provide and install work associated with keynotes 1&2 on sheet E-203 (ME).		yes	no
52	This Category Contractor to be responsible for all cutting and patching of finishes necessary to perform their respective work underground or in existing walls which is not specifically noted to be removed and replaced on the demolition drawings.	no	yes	yes
53	Provide and install motorized window shades and all associated mounting hardware for complete and operable system per specification section 122413 and the plans.	no		yes
54	Demolition of all windows & doors/ door frames shall be the responsibility of this Category Contractor. Provide temporary security panels until this category installs new doors, walls, windows or Category 21 installs new louvers.	yes		no
55	Provide and install all fixed louvers per the Contract Documents.	no		yes
56	Provide and install all aluminum infill panels per the Contract Documents	yes	no	
57	Provide and install all misc. sheet metal, galvanized steel, etc. as shown on details on sheets A-502	yes		

ANTELOPE VALLEY COMMUNITY COLLEGE - APL ME RENOVATIONS

WORK SCOPE SPECIAL CONDITIONS

CONTRACTOR CATEGORY NUMBER				
ITEM:	DESCRIPTION:	4	21	22
58	This Category Contractor shall provide ALL backing, blocking for all trades unless specifically noted otherwise within this Work Scope Special Conditions.	yes	no	no
59	THIS CATEGORY CONTRACTOR SHALL SUBMIT ALL SUBMITTALS AND SHOP DRAWINGS WITHIN FIVE (5) BUSINESS DAYS AFTER RECEIPT OF NOTICE OF INTENT TO AWARD. AFTER RECEIVING APPROVAL, CONTRACTOR WILL IMMEDIATELY ORDER ALL ITEMS THAT HAVE LONG LEAD TIMES TO ENSURE THE MATERIAL IS AVAILABLE BY THE SCHEDULED CONSTRUCTION START. CONTRACT WILL BE ABLE TO TO BILL FOR STORED MATERIAL AFTER SUBMITTING INVOICES AND PROOF OF DELIVERY.	yes	yes	yes
60	<i>This Category Contractor shall provide and install all projector screens with mount and hardware.</i>	no	no	yes
61	These Category Contractor shall include all allowances detailed in specification section 01210 for their respective category.	yes	yes	yes
62	<i>This Category Contractor shall include 1000' lineal feet of temporary fencing for the duration of the project. All fencing shall include wind screen. Refer to A-101 for temp fencing.</i>	yes	no	no
63	This Category Contractor shall include a final cleaning including waxing of floors, final wipe down of all finishes, including ceilings for both buildings.	yes		
64	<i>All electrical work within walls to be demolished shall be this Category Contractors to remove and dispose of properly.</i>	no		yes
65	<i>All plumbing including oxygen utilities within wall to be demolished shall be this Category Contractors to remove and dispose of properly.</i>	yes	no	no
66	<i>This Category Contractor shall remove and relocate the existing projector mount within A115</i>	no	no	yes
67	<i>All reference notes shown on P-200 shall be the responsibility of this Category Contractor.</i>	yes	no	no
68	<i>This Category Contractor shall include all power, data including terminations to Points of Connections at tables within ME Building. Please reference Specifications Section 123210 for further coordination information. If wire is to be ran in tables this will be included in this category as well.</i>	no		yes
69	<i>Remove existing trees, shrubs, landscaping as shown on A-101 (ME) in order to install new CMU wall.</i>	yes	no	no
70	<i>Where ever louvers are shown at the exterior of building (A-201 -ME) Category 4 will demolish window and Category 21 will provide and install new louvers.</i>	yes	yes	no
71	<i>THIS CATEGORY CONTRACTOR SHALL INCLUDE IN THEIR BID ALL LOW VOLTAGE CABLING FROM DEIVCES SHOWN ON DRAWINGS TO NEAREST IDF CABINET.</i>	NO	NO	YES

SECTION 099123 - INTERIOR PAINTING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes surface preparation and the application of paint systems on the following interior substrates:
 - 1. Gypsum Board
 - 2. Steel Door Frames
 - 3. Steel Doors
 - 4. Galvanized metal ductwork
- B. Related Sections include the following:
 - 1. Division 01 Section "Indoor Air Quality (IAQ) Management".
 - 2. Division 08 Sections "Hollow Metal Doors and Frames" for factory priming doors with primers specified in this Section.
 - 3. Division 09 Section "Gypsum Board".

1.3 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Samples for Initial Selection: For each type of topcoat product indicated.
- C. Samples for Verification: For each type of paint system and in each color and gloss of topcoat indicated.
 - 1. Submit Samples on substrates they will be applied to, 8 in x 10" min.
 - 2. Label each Sample with paint system, color, gloss level, location and application area.
- D. Product List: For each product indicated, include the following:
 - 1. Cross-reference to paint system and locations of application areas. Use same designations indicated on Drawings and in schedules.
 - 2. Printout of current "MPI Approved Products List" for each product category specified in Part 2, with the proposed product highlighted.
- E. Environmental Submittals:

Reference Standard: California Green Building Standards Code California Code of Regulations, Title 24, Part 11 (CALGreen).

1. Provide Project Data:
 - a. For paint systems, documentation including printed statement of VOC content.

1.4 QUALITY ASSURANCE

- A. Mockups: Apply (2) mockup benchmark paint sample colors – one complete wall and one complete door and frame (both sides), to verify colors selected, demonstrate aesthetic effects and set quality standards for materials and execution.
 1. Coordinate areas to be painted with Architect prior to starting mockups.
 2. Apply benchmark samples after permanent lighting and other environmental services have been activated.
 3. Final approval of color selections will be based on benchmark samples.
 - a. If preliminary color selections are not approved, apply additional benchmark samples of additional colors selected by Architect at no added cost to Owner.
 - b. Accepted samples may remain as part of the Work.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than 45 deg F.
 1. Maintain containers in clean condition, free of foreign materials and residue.
 2. Remove rags and waste from storage areas daily.

1.6 PROJECT CONDITIONS

- A. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between 50 and 95 deg F.
- B. Do not apply paints when relative humidity exceeds 85 percent; at temperatures less than 5 deg F above the dew point; or to damp or wet surfaces.

1.7 EXTRA MATERIALS

- A. Furnish extra materials described below that are from same production run (batch mix) as materials applied and that are packaged for storage and identified with labels describing contents.
 1. Quantity: Furnish an additional 5 percent, but not less than 1 gal. of each material and color applied.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
- B. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - 1. Dunn Edwards Corporation (basis of design)
 - 2. Frazee Paint
 - 3. PPG Coatings

2.2 PAINT, GENERAL

- A. Material Compatibility:
 - 1. Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
 - 2. For each coat in a paint system, provide products recommended in writing by manufacturers of topcoat for use in paint system and on substrate indicated.
- B. Colors: As indicated on Drawings.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of work.
- B. Maximum Moisture Content of Substrates: When measured with an electronic moisture meter as follows:
 - 1. Concrete: 12 percent.
 - 2. Gypsum Board: 12 percent.
- C. Verify suitability of substrates, including surface conditions and compatibility with existing finishes and primers.
- D. Begin coating application only after unsatisfactory conditions have been corrected and surfaces are dry.
 - 1. Beginning coating application constitutes Contractor's acceptance of substrates and conditions.

3.2 PREPARATION

- A. Comply with manufacturer's written instructions and recommendations in "MPI Architectural Painting Specification Manual" applicable to substrates indicated.
- B. Remove plates, machined surfaces, and similar items already in place that are not to be painted. If removal is impractical or impossible because of size or weight of item, provide surface-applied protection before surface preparation and painting.
 - 1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed. Remove surface-applied protection if any.
 - 2. Do not paint over labels of independent testing agencies or equipment name, identification, performance rating, or nomenclature plates.
- C. Prepare existing gypsum board surfaces that have had wallcovering removed by patching, sanding to remove adhesive, and prepping as necessary to achieve a Level 4 finish per ASTM C840 Drywall Finish Standards.
- D. Clean substrates of substances that could impair bond of paints, including dirt, oil, grease, and incompatible paints and encapsulants.
 - 1. Remove incompatible primers and re-prime substrate with compatible primers as required to produce paint systems indicated.
- E. Concrete Substrates: Remove release agents, curing compounds, efflorescence, and chalk. Do not paint surfaces if moisture content or alkalinity of surfaces to be painted exceeds that permitted in manufacturer's written instructions.
- F. Steel Substrates: Remove rust and loose mill scale. Clean using methods recommended in writing by paint manufacturer.
- G. Galvanized-Metal Substrates: Remove grease and oil residue from galvanized sheet metal fabricated from coil stock by mechanical methods to produce clean, lightly etched surfaces that promote adhesion of subsequently applied paints.
- H. Patched Gypsum Board Substrates: Do not begin paint application until finishing compound is dry and sanded smooth.

3.3 APPLICATION

- A. Apply paints according to manufacturer's written instructions.
 - 1. Use applicators and techniques suited for paint and substrate indicated.
 - 2. Paint surfaces behind movable equipment and furniture same as similar exposed surfaces. Before final installation, paint surfaces behind permanently fixed equipment or furniture with prime coat only.
 - 3. Paint front and backsides of access panels, removable or hinged covers, and similar hinged items to match exposed surfaces.

- B. Tint each undercoat a lighter shade to facilitate identification of each coat if multiple coats of same material are to be applied. Tint undercoats to match color of topcoat, but provide sufficient difference in shade of undercoats to distinguish each separate coat.
- C. If undercoats or other conditions show through topcoat, apply additional coats until cured film has a uniform paint finish, color, and appearance.
- D. Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks.
- E. Painting Mechanical and Electrical Work: Paint items exposed in occupied spaces including, but not limited to, the following:
 - 1. Mechanical Work:
 - a. Un-insulated metal piping.
 - b. Un-insulated plastic piping.
 - c. Pipe hangers and supports.
 - d. Metal ducts, without liner.
 - e. Duct, equipment, and pipe insulation having cotton or canvas insulation covering or other paintable jacket material.
 - f. Mechanical equipment that is indicated to have a factory-primed finish for field painting.
 - 2. Electrical Work:
 - a. All exposed electric conduit.
 - b. Electrical equipment that is indicated to have a factory-primed finish for field painting.

3.4 FIELD QUALITY CONTROL

- A. Testing of Paint Materials: Owner reserves the right to invoke the following procedure at any time and as often as Owner deems necessary during the period when paints are being applied:
 - 1. Owner will engage the services of a qualified testing agency to sample paint materials being used. Samples of material delivered to Project site will be taken, identified, sealed, and certified in presence of Contractor.
 - 2. Testing agency will perform tests for compliance with product requirements.
 - 3. Owner may direct Contractor to stop applying paints if test results show materials being used do not comply with product requirements. Contractor shall remove non-complying-paint materials from Project site, pay for testing, and repaint surfaces painted with rejected materials. Contractor will be required to remove rejected materials from previously painted surfaces if, on repainting with complying materials, the two paints are incompatible.

3.5 CLEANING AND PROTECTION

- A. At end of each workday, remove rubbish, empty cans, rags, and other discarded materials from Project site.
- B. After completing paint application, clean spattered surfaces. Remove spattered paints by washing, scraping, or other methods. Do not scratch or damage adjacent finished surfaces.
- C. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by Architect, and leave in an undamaged condition.
- D. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

SECTION CONTINUED ON NEXT PAGE

3.6 INTERIOR PAINTING SCHEDULE

- E. Wood – Stain with Clear Satin Finish – Finish Type **P22I**:
- 100% Acrylic System, Semi-Gloss Finish (Gloss Level 40-50% on a 60° meter)
1st coat: Old Masters Oil Based Wiping Stain (250 g/L VOCs).
2nd coat: Old Masters Water-Based Polyurethane - 755 Satin Finish (275 g/L VOCs).
3rd coat: Old Masters Water-Based Polyurethane - 755 Satin Finish (275 g/L VOCs).
- F. Type X Gypsum Board – Paint Type **P25B**:
- 100% Acrylic System, Semi-Gloss Finish (Gloss Level 40-50% on a 60° meter)
1st coat: Dunn Edwards, ULTRA-GRIP Premium, Multi-Surface, Water-Based Primer, (50 g/L VOCs).
2nd coat: Dunn Edwards, EVEREST, EVER50, 100% Acrylic, (2 g/L VOCs).
3rd coat: Dunn Edwards, EVEREST, EVER50, 100% Acrylic, (2 g/L VOCs).
- G. Type X Gypsum Board – Paint Type **P25C**:
- 100% Acrylic System, Eggshell Finish (Gloss Level 10-15% on a 60° meter)
1st coat: Dunn Edwards, ULTRA-GRIP Premium, Multi-Surface, Water-Based Primer, (50 g/L VOCs).
2nd coat: Dunn Edwards, EVEREST, EVER30, 100% Acrylic, (2 g/L VOCs).
3rd coat: Dunn Edwards, EVEREST, EVER30, 100% Acrylic, (2 g/L VOCs).
- H. Cement Plaster or Concrete – Paint Type **P26C**:
- Acrylic Eggshell Finish (Gloss Level 10-15% on a 60° meter)
1st coat: Dunn Edwards, SUPER-LOC Premium, SLPROO-2-WH, Masonry/Bonding Primer, (50 g/L VOCs).
2nd coat: Dunn Edwards, SPARTAZERO, SZR030, (2 g/L VOCs).
3rd coat: Dunn Edwards, SPARTAZERO, SZR030, (2 g/L VOCs).
- I. Metal Doors and Metal Frames – Paint Type **P28B**:
- Acrylic Urethane System, Semi-Gloss Finish (Gloss Level 40-50% on a 60° meter)
1st coat: Dunn Edwards, BLOC-RUST Premium, BRPROO-2-WH, Rust Inhibitive Water-Based Primer, 50 g/L VOCs).
2nd coat: Dunn Edwards, ULTRASHIELD, ULDM50, (0 g/L VOCs).
3rd coat: Dunn Edwards, ULTRASHIELD, ULDM50, (0 g/L VOCs).
- J. Exposed Metal Mechanical & Electrical Equipment – Paint Type **P29D**:
- Fast-Drying, Non-bridging Waterborne Dry Fall Flat Finish
1st coat: Dunn Edwards, AQUAFALL, AQUA10, (35 g/L VOCs).
2nd coat: Dunn Edwards, AQUAFALL, AQUA10, (35 g/L VOCs).

THIS SECTION CONTINUED ON FOLLOWING PAGE

Date: _____ Project Name: Antelope Valley College – Applied Arts Building Renovation

WARRANTY FOR _____, in Agreement between Antelope Valley Com. College District

(Specification Section)

(Owner)

and _____
(the "Contractor") _____ Name of Installer or Subcontractor or Manufacturer)

hereby guarantees to the Owner that the portion of the Work described as follows:

_____, which it has provided for the above referenced Project, is of good quality; free from defects; free from any liens, claims, and security interests; and has been completed in accordance with Specification Section _____ and the other requirements of the Contract.

The undersigned further agrees that, if at any time within _____ after the date hereof the undersigned receives notice from the Owner that the aforesaid portion of the Work is unsatisfactory, faulty, deficient, incomplete, or not in conformance with the requirements of the Contract, the undersigned will, within ten (10) calendar days after receipt of such notice, correct, repair, or replace such portion of the Work, together with any other parts of the Work and any other property which is damaged or destroyed as a result of such defective portion of the Work or the correction, repair, or replacement thereof; and that it shall diligently and continuously prosecute such correction, repair, or replacement to completion.

In the event the undersigned fails to commence such correction, repair, or replacement within ten (10) calendar days after such notice, or to diligently and continuously prosecute the same to completion, the undersigned, collectively and separately, do hereby authorize the Owner to undertake such correction, repair, or replacement at the expense of the undersigned; and the Contractor will pay to the Owner promptly upon demand all costs and expenses incurred by the Owner in connection therewith.

This warranty shall be in addition to and not a limitation of other rights the Owner may have against the Contractor under the Contract Documents.

SUBCONTRACTOR OR INSTALLER

Signed _____ Title _____

Typed Name _____

Name of Firm _____

Contractor License Number _____

Address _____

Phone Number _____

MANUFACTURER (If Applicable)

Signed _____ Title _____

Typed Name _____

Name of Firm _____

CONTRACTOR

Signed _____ Title _____

Typed Name _____

Name of Firm _____

END OF SECTION 099123

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SECTION 115200 – AUDIO-VISUAL EQUIPMENT**PART 1 - GENERAL****1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes the following items:
 - 1. Manually operated, front projection screens.
 - 2. Mounts for LCD projectors.
 - 3. Mounts for flat panel TV's.
- B. Related Sections:
 - 1. Division 09 Section "Non-Structural Framing" for metal stud blocking.
 - 2. Division 09 Section "Acoustical Tile Ceilings".

1.3 SUBMITTALS

- A. Product Data: For each type of product indicated. Include construction details, bracket information, dimensions of individual components and profiles, and finishes.
- B. Shop Drawings: Show layouts and types of front-projection screens. Include the following:
 - 1. Drop lengths.
 - 2. Anchorage details, including connection to supporting structure.

1.4 CLOSEOUT SUBMITTALS

- A. Maintenance Data: To include in maintenance manuals.
- B. Warranties: Sample of manufacturer's warranties.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Environmental Limitations: Do not deliver or install front-projection screens until spaces are enclosed and weather-tight, wet work in spaces is complete and dry, and temporary HVAC system is operating and maintaining ambient temperature and humidity conditions at occupancy levels during the remainder of the construction period.

- B. Deliver all materials free from damage in original packages bearing manufacturer's label.
- C. Store all materials in such a manner as to protect them from corrosion, vandalism or damage in any form.

1.6 COORDINATION

- A. Coordinate layout and installation of front-projection screens with adjacent construction, including ceiling suspension systems, light fixtures, HVAC equipment, and fire-suppression system.

PART 2 - MATERIALS

2.1 MANUALLY-OPERATED, FRONT-PROJECTION SCREENS

- A. Basis of Design: Provide Da-Lite Screen Company; Deluxe Model B with CSR, video spectra 1.5 wall-mounted screens.
- B. General: Manufacturer's standard units consisting of case, screen, mounting accessories, and other components necessary for a complete installation.
 - 1. Screen Mounting: Top edge securely anchored to rigid metal roller and bottom edge formed into a pocket holding a 3/8-inch- (9.5-mm-) diameter metal rod with ends of rod protected by plastic caps.
 - a. Roller for motor in roller is supported by vibration- and noise-absorbing supports.
 - 2. Tab Tensioning: Provide units that have a durable low-stretch cord, such as braided polyester, on each side of screen that is connected to edge of screen by tabs to pull screen flat horizontally.
- C. Surface-Mounted, Metal-Encased, Manually Operated Screens with Tab Tensioning: designed and fabricated for surface mounting on wall or ceiling, fabricated from formed-steel sheet not less than 0.027 inch (0.7 mm) thick or from aluminum extrusions; with flat back design and baked-enamel finish. Provide with matching end caps and concealed mounting.
- D. Screen Material: Seamless flame retardant and mildew-resistant vinyl sheet with black masking borders and extra drop as required.
- E. Size of Viewing Surface: 16:9 HDTV Format.
 - 1. At Classroom and Lab: 52 by 92 inches (106 inches nominal diagonal).

2.2 PROJECTOR MOUNT

- A. Basis of Design: Provide products by Business Machine Security, www.LocDown.com, or approved equal.

1. Drop Ceiling Plate: Model #DCP-ADJ 824 Adjustable Projector Mount Bracket Plate.
 - a. 16 gauge steel
 - b. Size: 8 by 24 inches.
 - c. Install above suspended acoustical tile with security cable and hanger wire support as shown on Drawings.
 - d. Maximum Load: 60 lbs.
2. Ceiling Projector Mount: Model #LCD LOC II Universal Mount
 - a. Two interlocking steel trays to provide security and stability for LCD/DLP projectors.
 - b. Adjustment: $\pm 15\%$ tilt, pitch, roll and 360° swivel.
 - c. Maximum Load: 150 lbs.
 - d. Color: Grey (standard).
3. Locking Mechanism: Provide high-security, pick resistant, five wafer, cylindrical screw type key lock at Drop Ceiling Plate and Project Mount.
 - a. Key alike.

2.3 FLAT PANEL MONITOR MOUNT

- A. Basis of Design: Provide products by Premier Mounts, 3130 East Miraloma Ave., Anaheim, CA 92806, (800) 368-9700, or approved equal.
 1. Universal Low Profile Tilt Mounts:
 - a. Model P4263T for 42 inch to 63 inch LCD monitors.
 - b. Model P5080T for 50 inch to 80 inch LCD monitors.
 2. Swing-Out Arm for Large Displays
 - a. Model PREM-AM175 for 42 inches and larger. Confirm model of LCD monitor with Owner prior to ordering.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Coordinate and provide blocking in walls for proper and secure attachment of wall mounts.

3.2 INSTALLATION OF AUDIO-VISUAL EQUIPMENT, GENERAL

- A. Install in accordance with manufacturer's recommendations.
- B. Mounts are to be level and plumb.

- C. Touch up scratches on mounts or marks on ceiling and wall.
- D. Deliver mounting bolts or other loose accessories to the District in a clearly labeled carton for District's use in installing projector.

3.3 FRONT PROJECTION SCREEN INSTALLATION

- A. Install front-projection screens at locations indicated to comply with screen manufacturer's written instructions.
- B. Install front-projection screens with screen cases in position and in relation to adjoining construction indicated. Securely anchor to supporting substrate in a manner that produces a smoothly operating screen with vertical edges plumb and viewing surface flat when screen is lowered.

3.4 PROTECTION

- A. Protect installed products until completion of project.
- B. Touch-up, repair or replace damaged products before Substantial Completion.

THIS SECTION CONTINUED ON FOLLOWING PAGE

Date: _____ Project Name: Antelope Valley College – Applied Arts Building Renovation

WARRANTY FOR _____, in Agreement between Antelope Valley Comm. College District
(Specification Section) (Owner)

and _____
(the "Contractor") (Name of Installer or Subcontractor or Manufacturer)

hereby guarantees to the Owner that the portion of the Work described as follows:

_____, which it has provided for the above referenced Project, is of good quality; free from defects; free from any liens, claims, and security interests; and has been completed in accordance with Specification Section _____ and the other requirements of the Contract.

The undersigned further agrees that, if at any time within _____ after the date hereof the undersigned receives notice from the Owner that the aforesaid portion of the Work is unsatisfactory, faulty, deficient, incomplete, or not in conformance with the requirements of the Contract, the undersigned will, within ten (10) calendar days after receipt of such notice, correct, repair, or replace such portion of the Work, together with any other parts of the Work and any other property which is damaged or destroyed as a result of such defective portion of the Work or the correction, repair, or replacement thereof; and that it shall diligently and continuously prosecute such correction, repair, or replacement to completion.

In the event the undersigned fails to commence such correction, repair, or replacement within ten (10) calendar days after such notice, or to diligently and continuously prosecute the same to completion, the undersigned, collectively and separately, do hereby authorize the Owner to undertake such correction, repair, or replacement at the expense of the undersigned; and the Contractor will pay to the Owner promptly upon demand all costs and expenses incurred by the Owner in connection therewith.

This warranty shall be in addition to and not a limitation of other rights the Owner may have against the Contractor under the Contract Documents.

SUBCONTRACTOR OR INSTALLER

Signed _____ Title _____

Typed Name _____

Name of Firm _____

Contractor License Number _____

Address _____

Phone Number _____

MANUFACTURER (If Applicable)

Signed _____ Title _____

Typed Name _____

Name of Firm _____

CONTRACTOR

Signed _____ Title _____

Typed Name _____

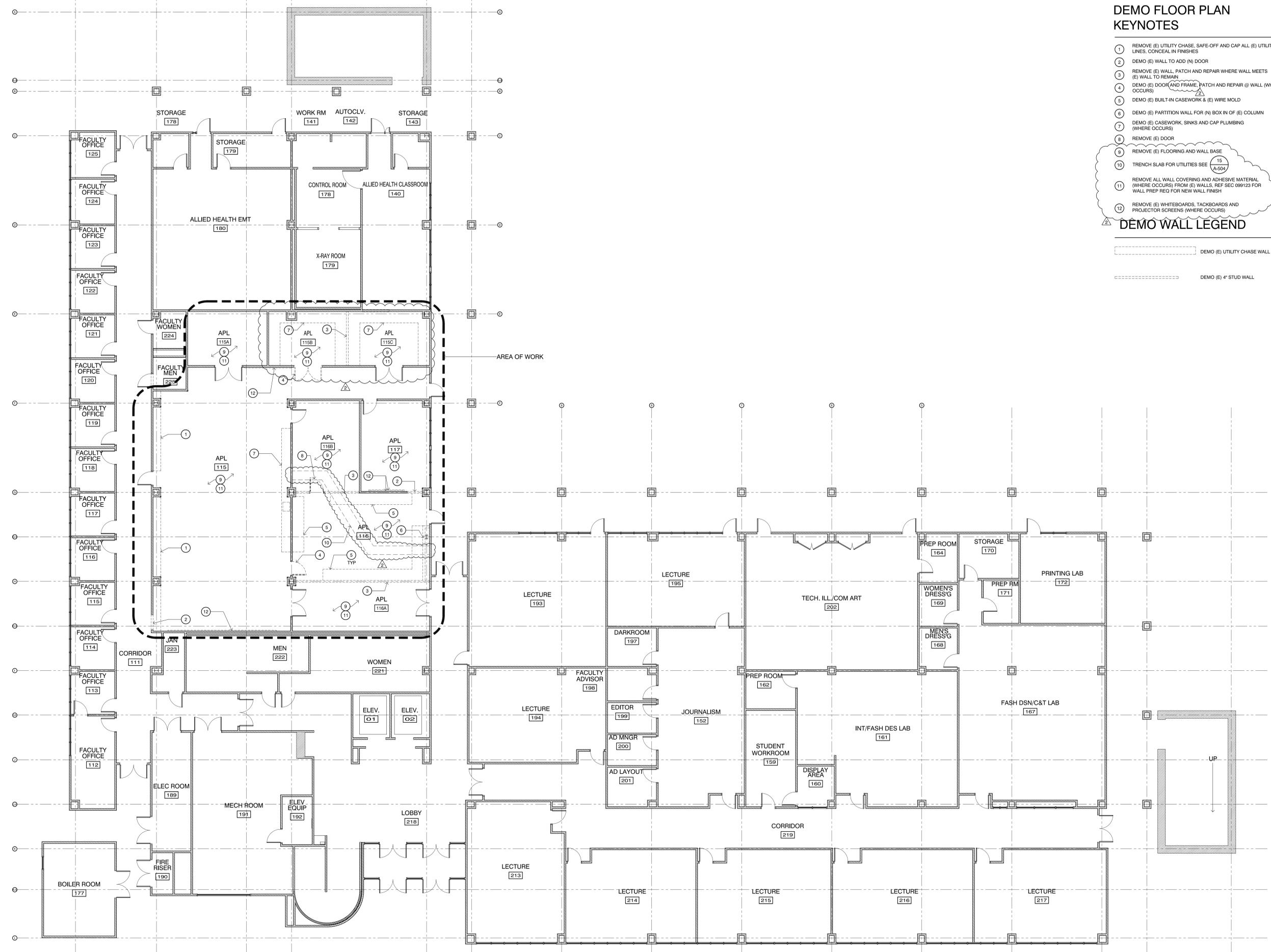
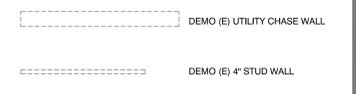
Name of Firm _____

END OF SECTION 115200

DEMO FLOOR PLAN KEYNOTES

- 1 REMOVE (E) UTILITY CHASE, SAFE-OFF AND CAP ALL (E) UTILITY LINES, CONCEAL IN FINISHES
- 2 DEMO (E) WALL TO ADD (N) DOOR
- 3 REMOVE (E) WALL, PATCH AND REPAIR WHERE WALL MEETS (E) WALL TO REMAIN
- 4 DEMO (E) DOOR AND FRAME, PATCH AND REPAIR @ WALL (WHERE OCCURS)
- 5 DEMO (E) BUILT-IN CASEWORK & (E) WIRE MOLD
- 6 DEMO (E) PARTITION WALL FOR (N) BOX IN OF (E) COLUMN
- 7 DEMO (E) CASEWORK, SINKS AND CAP PLUMBING (WHERE OCCURS)
- 8 REMOVE (E) DOOR
- 9 REMOVE (E) FLOORING AND WALL BASE
- 10 TRENCH SLAB FOR UTILITIES SEE 15 A-504
- 11 REMOVE ALL WALL COVERING AND ADHESIVE MATERIAL (WHERE OCCURS) FROM (E) WALLS, REF SEC 099123 FOR WALL PREP REQ FOR NEW WALL FINISH
- 12 REMOVE (E) WHITEBOARDS, TACKBOARDS AND PROJECTOR SCREENS (WHERE OCCURS)

DEMO WALL LEGEND



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SHANNON BLOMST
 PROJECT MANAGER

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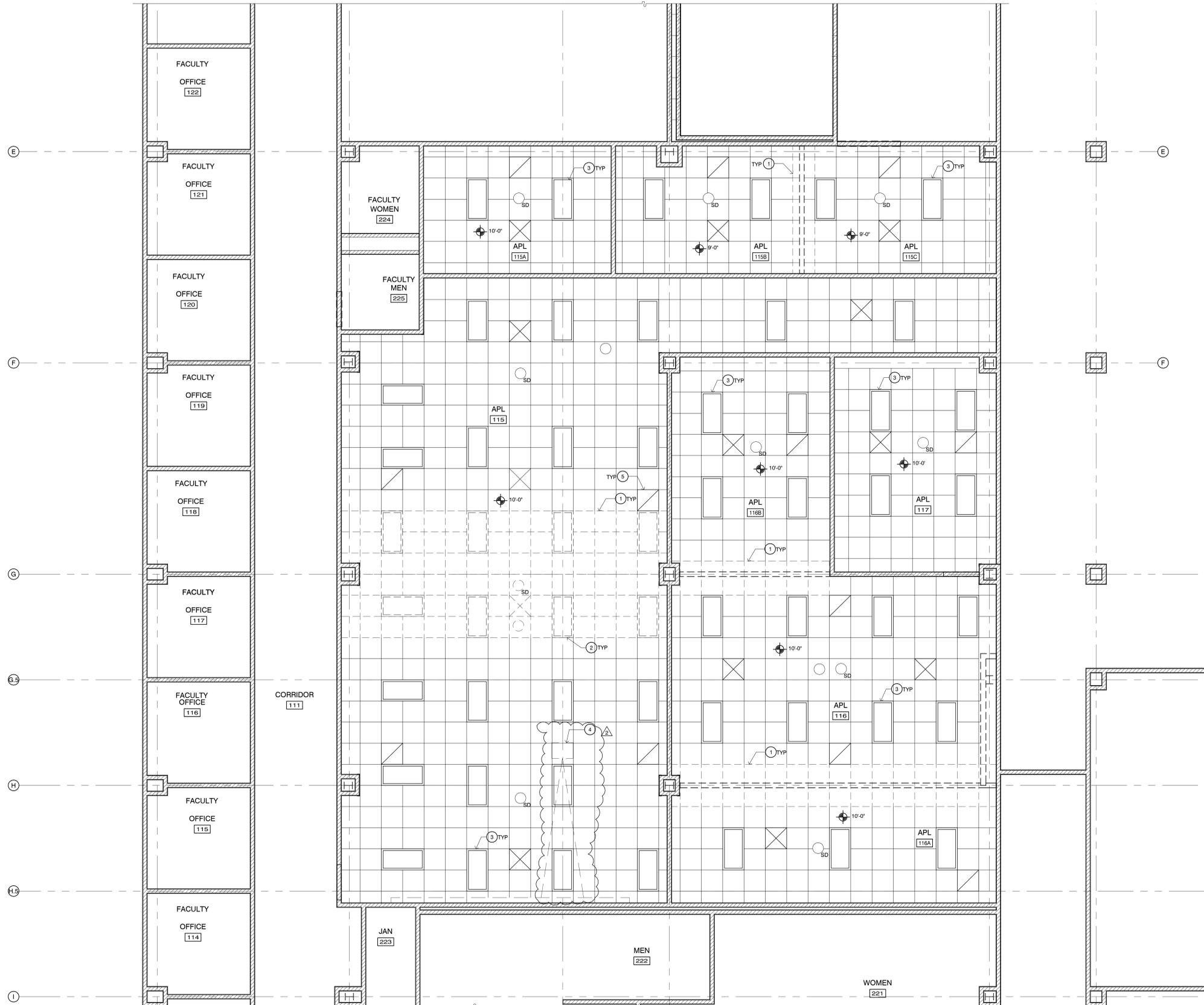
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 DATE 02/05/2016
 JOB. NO. 15047

SHEET DEMO FLOOR PLAN
 TITLE



DEMO RCP KEYNOTES

- 1 DEMO 2x2 SUSPENDED ACOUSTICAL CEILING TILE AND RUNNERS, MATCH (E) PATTERN WITH REMOVAL OF WALL. WHERE CEILING HEIGHT DIFFERENCE OCCURS, DEMO AND REBUILD 3' TILES FOR LENGTH OF REMOVED WALL. SLOPE CEILING APPROX 2%.
- 2 DEMO (E) 2x4 LIGHT FIXTURE
- 3 2x4 LIGHT FIXTURE TO REMAIN
- 4 CEILING MOUNTED PROJECTOR TO BE RELOCATED AND CENTERED IN ROOM
- 5 (E) REGISTER TO REMAIN



LEGEND

- (E) 2x2 SUSPENDED CEILING ACOUSTICAL TILE
- DEMO 2x2 SUSPENDED CEILING ACOUSTICAL TILE
- (E) 2x4 RECESSED LIGHT FIXTURE TO REMAIN
- RELOCATE RECESSED LIGHT FIXTURE PER A102
- (E) AIR DIFFUSER TO REMAIN
- (E) AIR-INTAKE TO REMAIN
- REMOVE AND RELOCATE AIR DIFFUSER
- SMOKE DETECTOR TO REMAIN
- OCCUPANCY SENSOR TO REMAIN
- REMOVE AND RELOCATE SMOKE DETECTOR
- REMOVE AND RELOCATE OCCUPANCY SENSOR
- DEMO WALL
- (E) WALL



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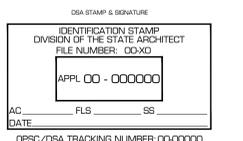
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SHANNON BLOMST
 PROJECT MANAGER

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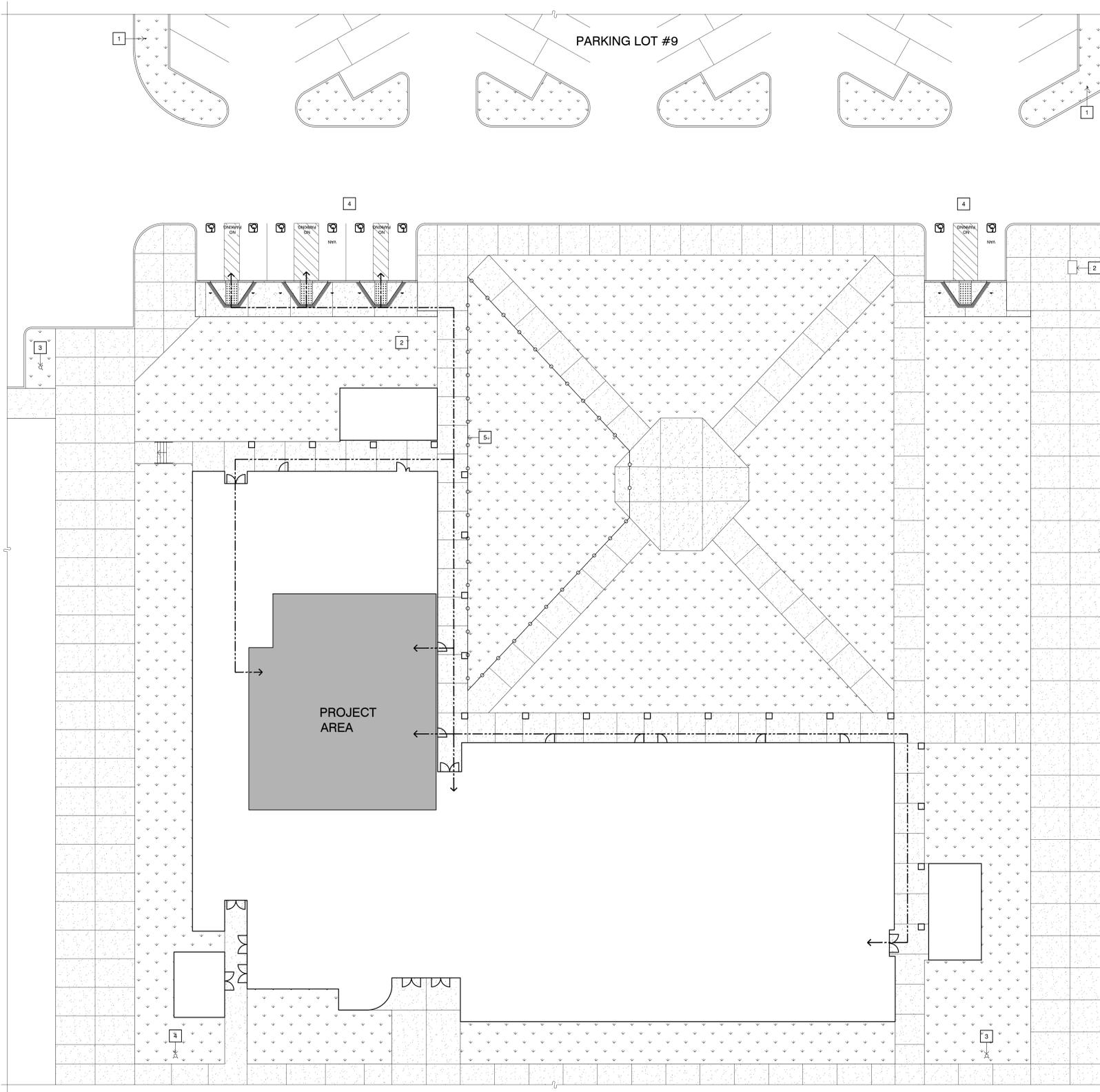
SHEET: DEMO RCP
 TITLE:

1 DEMO REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



SITE PLAN KEYNOTES

- 1 (E) ACCESSIBLE PARKING LOT ENTRANCE SIGN
- 2 (E) ELECTRICAL SWITCH BOX
- 3 (E) FIRE HYDRANT
- 4 (E) ACCESSIBLE PARKING SPACES
- 5 TEMPORARY CONSTRUCTION SAFETY FENCING, REMOVE AFTER CONSTRUCTION



LEGEND

- (E) HARDSCAPE
- (E) LANDSCAPE
- ACCESSIBLE PATH OF TRAVEL (POT)

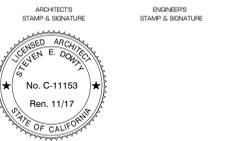
1 PARTIAL SITE PLAN
 SCALE: 1/16" = 1'-0"



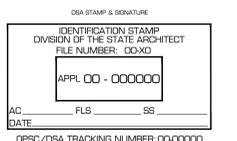
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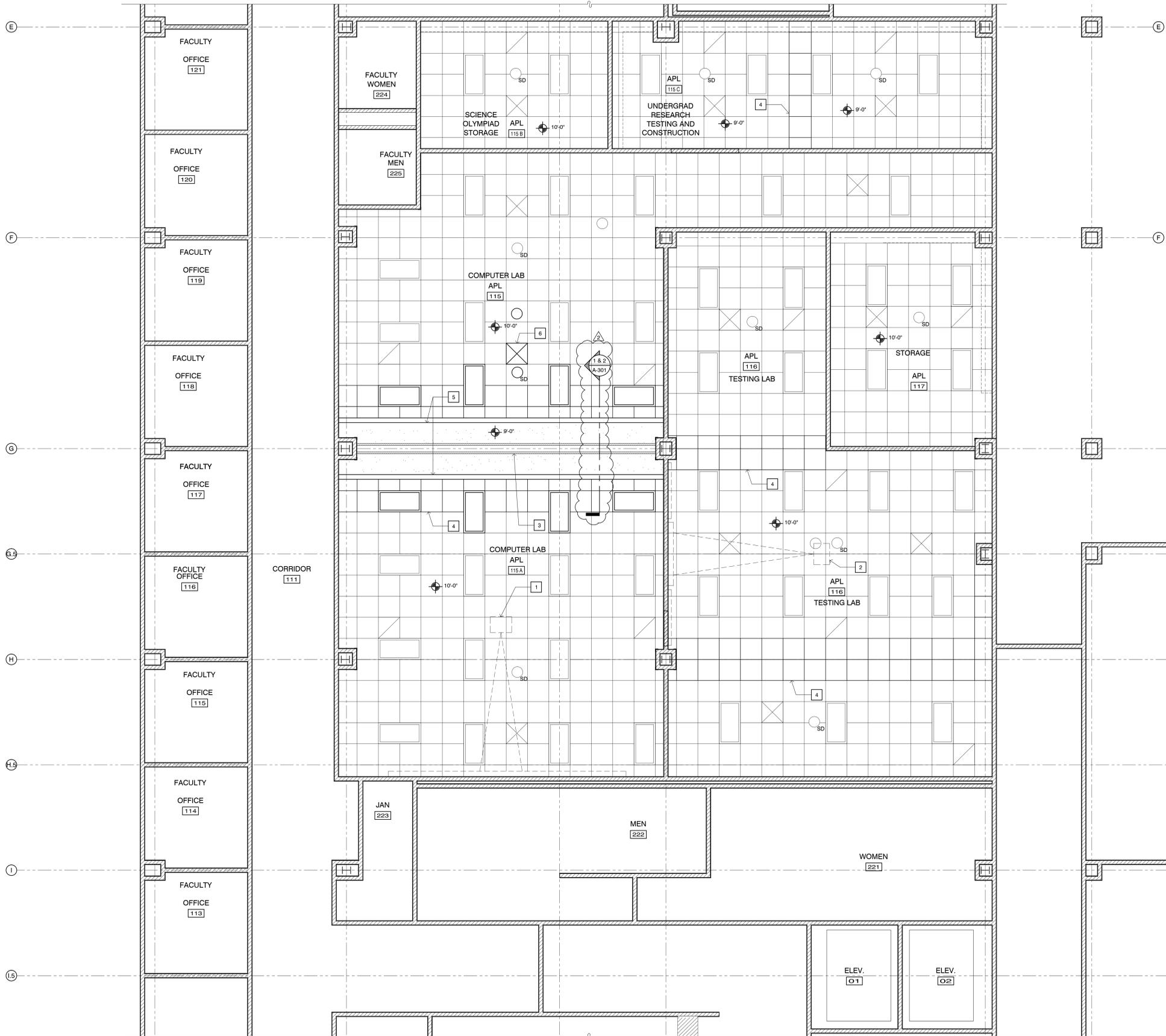
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SHEET: PARTIAL SITE PLAN
 TITLE:



REFLECTED CEILING PLAN KEYNOTES

- 1 (E) RELOCATED CEILING MOUNT PROJECTOR
- 2 CEILING MOUNT PROJECTOR
- 3 OPERABLE PARTITION WALL
- 4 (N) 24" x 24" LAY-IN ACOUSTICAL TILE AND METAL SUSPENSION SYSTEM TO MATCH (E) CLNG
- 5 GYP BRD POCKET/SOFFIT @ OPERABLE PARTITION WALL
- 6 24" x 24" PERFORATED FACE STEEL RETURN AIR REGISTER w/ ROUND NECK ADAPTOR, INLAY INTO 2x2 SUSPENDED CLG GRID

LEGEND

- (N) 2x2 SUSPENDED ACOUSTICAL CEILING TILES TO MATCH (E)
- (E) 2x4 RECESSED LIGHT FIXTURE TO REMAIN
- (N) 2x4 RECESSED LIGHT FIXTURE TO MATCH (E)
- (E) AIR DIFFUSER TO REMAIN
- (E) AIR-INTAKE TO REMAIN
- (N) AIR-INTAKE PER MECHANICAL (24" x 24" PERFORATED FACE STEEL)
- (N) OCCUPANCY SENSOR
- (N) SMOKE DETECTOR
- (E) SMOKE DETECTOR

1 REFLECTED CEILING PLAN
SCALE : 1/4" = 1'-0"

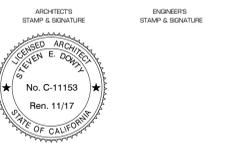
ANTELOPE VALLEY COMMUNITY COLLEGE DISTRICT
 ANTELOPE VALLEY COLLEGE
 3041 WEST AVENUE, K. LANCASTER, CA 95306
APPLIED ARTS BUILDING RENOVATION



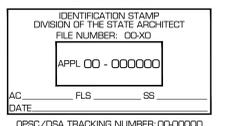
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 ARCHITECTS: STEVE E. DOWTY
 ENGINEERS: SHANNON BLOMST



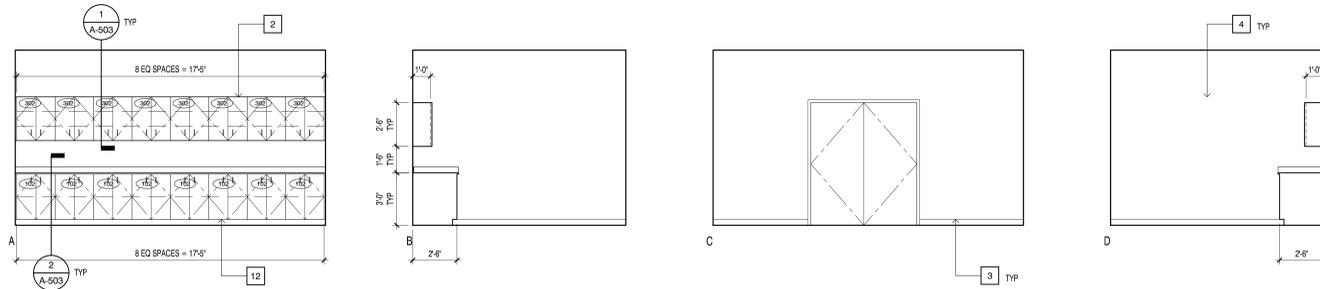
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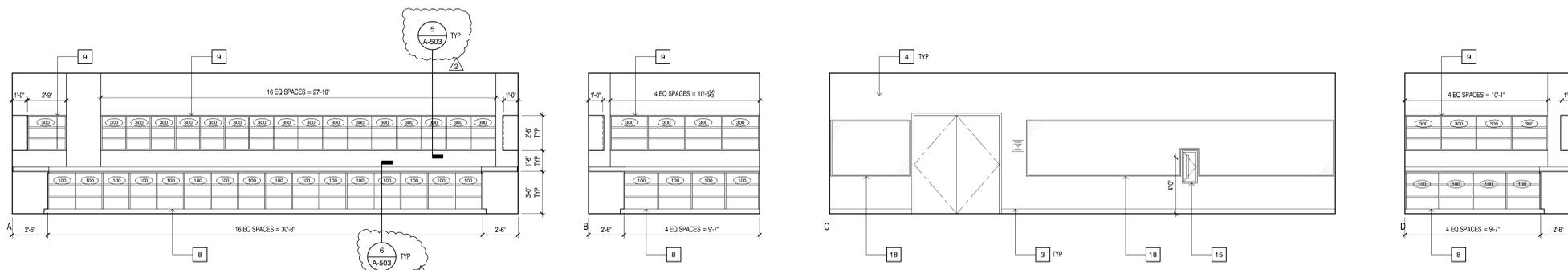
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INTERIOR ELEVATIONS KEYNOTES

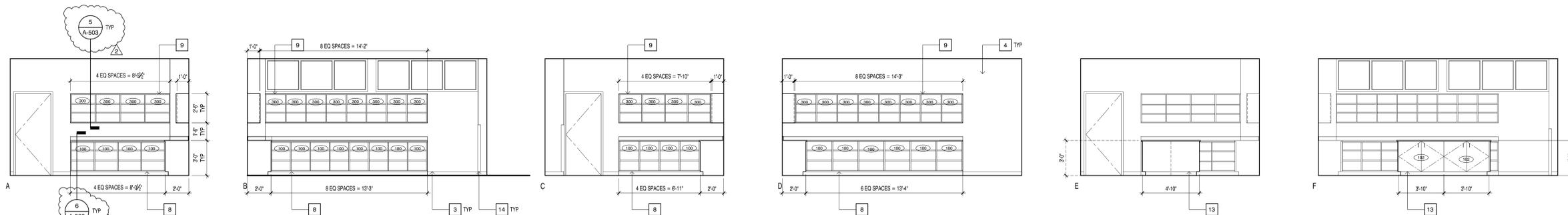
- 1 LAB CASEWORK BASE CABINET w/ DRAWERS & COUNTERTOP w/ BACKSPLASH
- 2 LAB CASEWORK WALL CABINET
- 3 WALL BASE PER FINISH SCHEDULE
- 4 WALL FINISH (E) OR (N) GYP BRD
- 5 LCD TV MOUNT
- 6 MANUAL PROJECTION SCREEN
- 7 MARKER BOARD
- 8 LAB CASEWORK BASE CABINET & COUNTERTOP w/ BACKSPLASH & ADJUSTABLE SHELVES
- 9 LAB CASEWORK WALL CABINET w/ ADJUSTABLE SHELVES w/ BACKSPLASH
- 10 OPERABLE PARTITION WALL
- 11 NOT USED
- 12 LAB CASEWORK BASE CABINET w/ DOORS & COUNTERTOP
- 13 LAB CASEWORK ISLAND CABINET w/ STORAGE
- 14 3" x 3" x 4" CORNER GUARDS @ ALL EXPOSED CORNERS; STARTS @ TOP OF RUBBER BASE
- 15 FIRE EXTINGUISHER IN RECESSED CABINET, 48" H TO TOP OF BRACKET RELEASE DEVICE
- 16 POCKET DEPTH FOR OPERABLE PANEL WALL
- 17 FUME HOOD (DUCTLESS)
- 18 TACKABLE STRETCH FABRIC SEE 11



1 Interior Elevations - APL 115 B Science Olympiad Storage
SCALE: 1/4" = 1'-0"



2 Interior Elevations - APL 115 C Undergrad Research & Testing
SCALE: 1/4" = 1'-0"



3 Interior Elevations - APL 117 Storage
SCALE: 1/4" = 1'-0"



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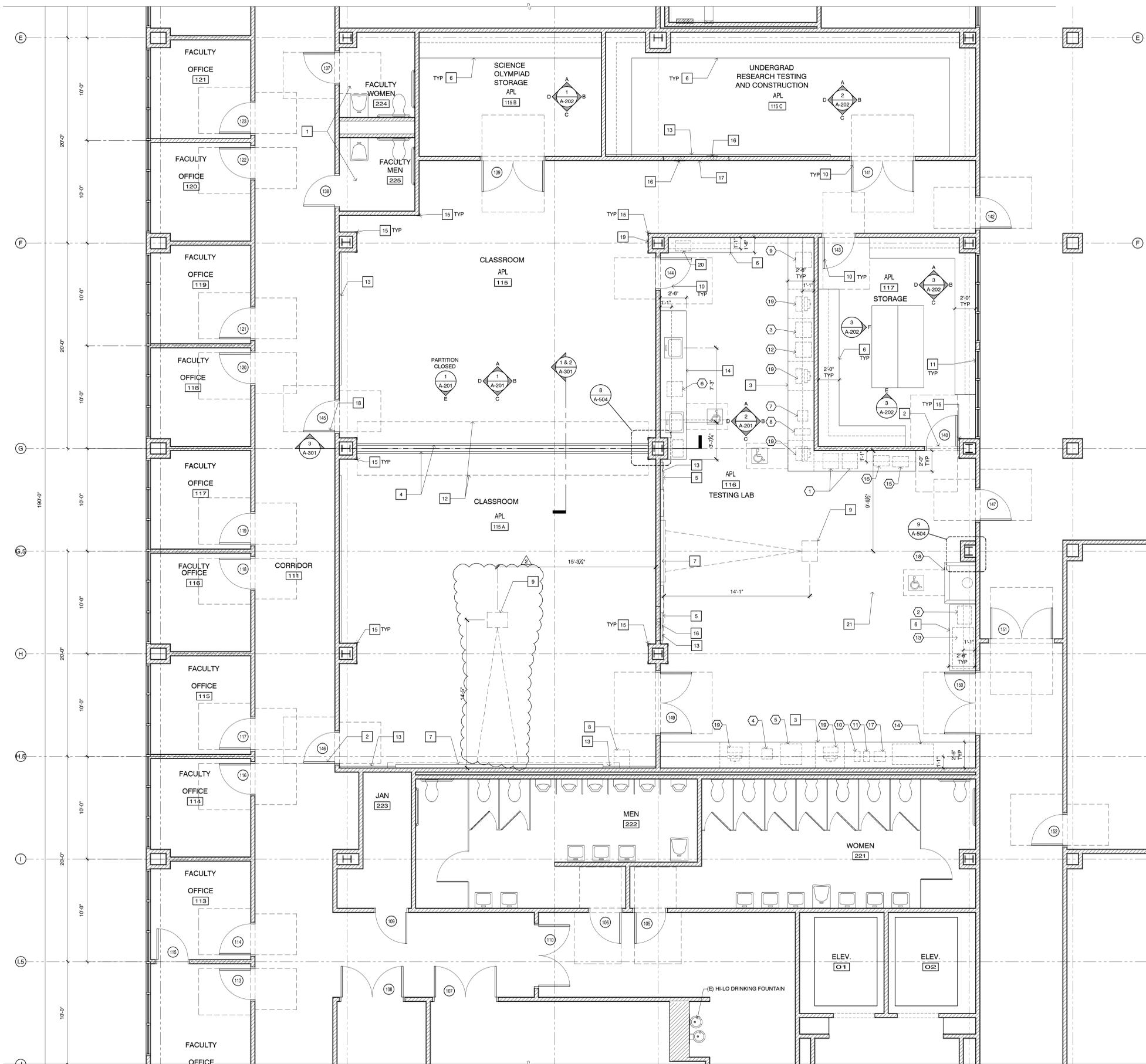
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SHEET: INTERIOR ELEVATIONS
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FLOOR PLAN KEYNOTES

- 1 (E) RESTROOMS TO REMAIN
- 2 DOOR AND LEVER HARDWARE TO MATCH (E) DOORS, TO BE PAINTED PER FINISH SCHEDULE
- 3 30"D LAB CASEWORK w/ STORAGE ABOVE & BELOW
- 4 OPERABLE PARTITION WALL
- 5 LCD TV MOUNT (10 A-504)
- 6 BUILT-IN CASEWORK w/ UPPER CABINETS
- 7 MARKER BOARD
- 8 MOVABLE TEACHING PODIUM (NIC)
- 9 CEILING MOUNT PROJECTOR ABOVE, SHOWN AS DASHED (10 A-501)
- 10 ALL (E) DOORS AND HARDWARE TO REMAIN, TO BE PAINTED PER FINISH SCHEDULE
- 11 ALL (E) WINDOWS TO REMAIN
- 12 POCKET ABOVE FOR OPERABLE PARTITION WALL
- 13 TACKABLE STRETCH FABRIC (11 A-503)
- 14 LAB CASEWORK w/ 2 SINKS
- 15 3" x 3" x 4'-0" CORNER GUARDS @ ALL EXPOSED CORNERS; STARTS @ TOP OF RUBBER BASE (11 A-504)
- 16 FIRE EXTINGUISHER IN RECESSED CABINET (6 A-507)
- 17 PATCH WALL AT REMOVED DOUBLE DOORS, 3/4" TYPE X GYP BRD ON 6" D MTL STUDS @ 16" OC
- 18 REPLACE DOOR HARDWARE, RE-USE (E) DOOR
- 19 HEARING ASSISTANCE SIGNAGE PER (S4 A-502)
- 20 HEARING ASSISTANCE SYSTEM PORTABLE (15 A-504)
- 21 TRENCH SLAB FOR UTILITIES SEE (15 A-504)

EQUIPMENT LEGEND

- 1 1400 FURNACES - 120 VOLTS, 12 AMPS, 1450 WATTS
- 2 THERMOLYNE OVEN - 120 VOLTS, 14 AMPS, 1680 WATTS
- 3 HI-TECH FATIGUE TESTER - 110 VOLTS, 2 AMPS, 240 WATTS
- 4 DISK SAW - 115 VOLTS 5.9 AMPS (6.8 SFA)
- 5 EXTEC DOU 8 POLISHER/SANDER - 110 VOLT, 450 WATTS
- 6 COLE-PARMER BATH (THE BLUE BATH) - 120 VOLTS, 14 AMPS
- 7 CHARPY TESTER - NON-ELECTRIC
- 8 ROCKWELL HARDNESS TESTER - NON-ELECTRIC
- 9 INSTRON TABLETOP TESTER
- 10 OLYMPUS MICROSCOPE - 100-120 VOLT, 0.85 AMPS
- 11 OLDER MICROSCOPE - 6 VOLTS DC, 30 WATTS
- 12 TABLETOP TENSILE TESTER - NON-ELECTRIC
- 13 TQ TORSION TESTER METER - 120 VOLT, 200 MA
- 14 TQ THIN-WALLED CYLINDER EXPERIMENT - 120 VOLT, .82 AMPS
- 15 3D PRINTER - 100-240 VOLTS, 12.7 AMPS (USE 120 VOLT OUTLET)
- 16 3D PRINTER BATH - 100-120 VOLTS, 12 AMPS
- 17 SCALES - 12 VOLTS DC, 1 AMP
- 18 48" FUME HOOD (DUCTLESS)
- 19 5 DESKTOP COMPUTERS

EQUIPMENT LEGEND NOTES

1. EQUIPMENT INDICATED IS NIC, EXCEPT (15) FUME HOOD
2. ALL EQUIPMENT IS BENCH MOUNTED UNON
3. VFY EXACT LOCATION OF EQUIPMENT



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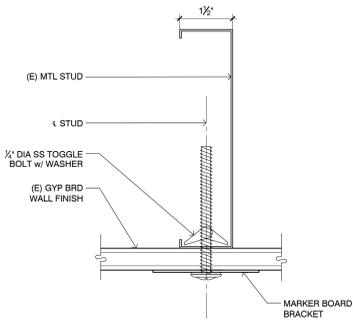
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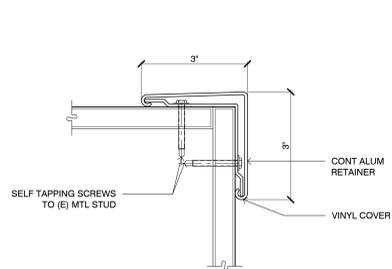
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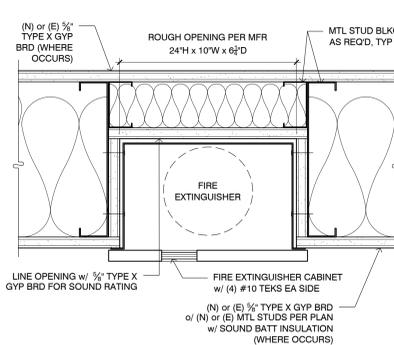
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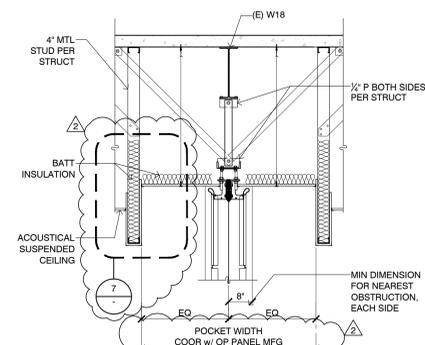
14 Marker Board Attachment
@ (E) Mtl Stud Wall
SCALE: 6" = 1'-0"



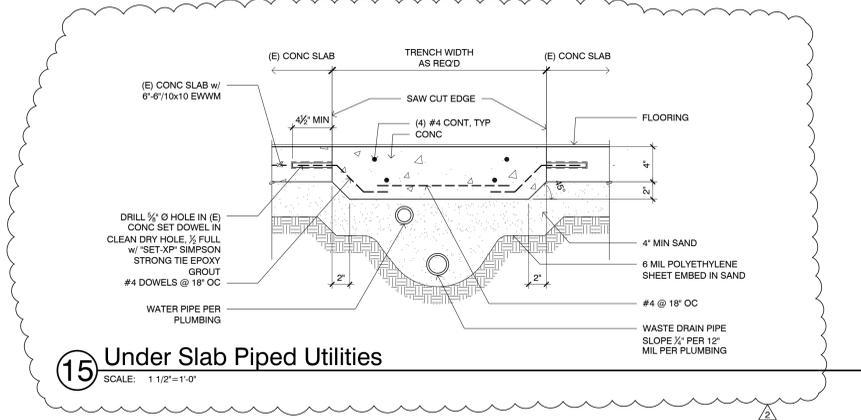
11 Corner Guard, Typ
SCALE: 6" = 1'-0"



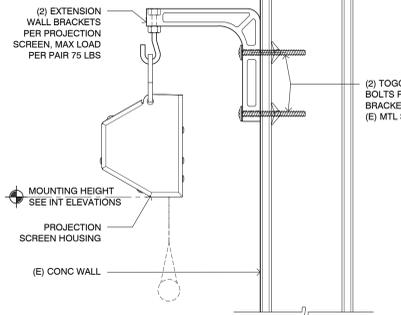
6 Recessed Fire Ext Cabinet
SCALE: 3" = 1'-0"



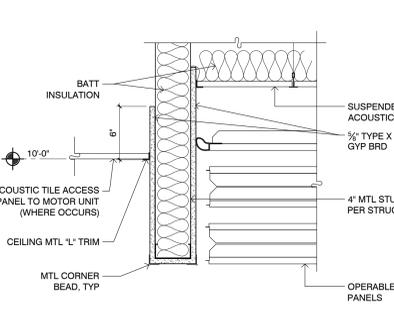
1 Pocket @ Operable Panel
SCALE: 1/2\"/>



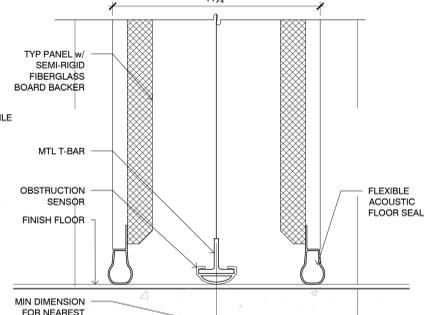
15 Under Slab Piped Utilities
SCALE: 1 1/2\"/>



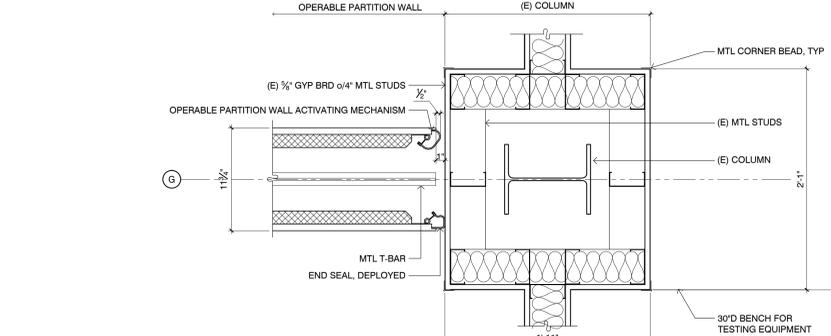
12 Wall Mounted Manual Projector
@ (E) Mtl Stud Wall
SCALE: 3" = 1'-0"



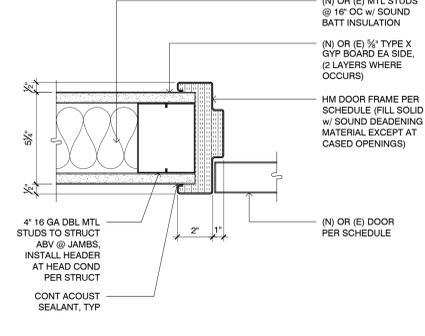
7 Ceiling @ Operable Panel Pocket
SCALE: 1-1/2\"/>



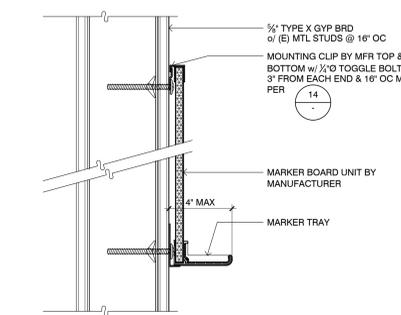
2 End Seal @ Operable Panel
SCALE: 3" = 1'-0"



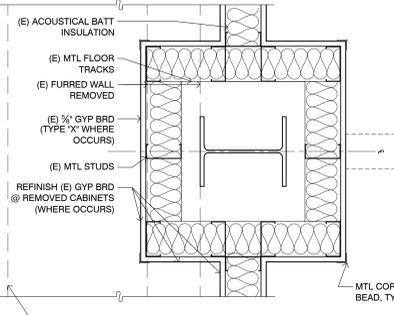
8 (E) Column @ Operable Partition
SCALE: 1-1/2\"/>



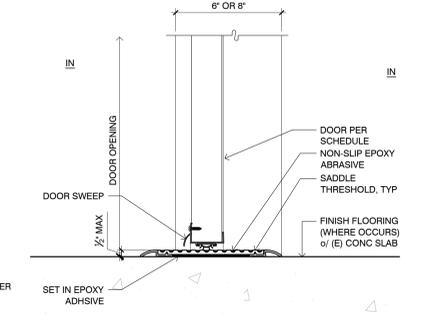
3 Int HM Door Jamb (Head Sim)
SCALE: 3" = 1'-0"



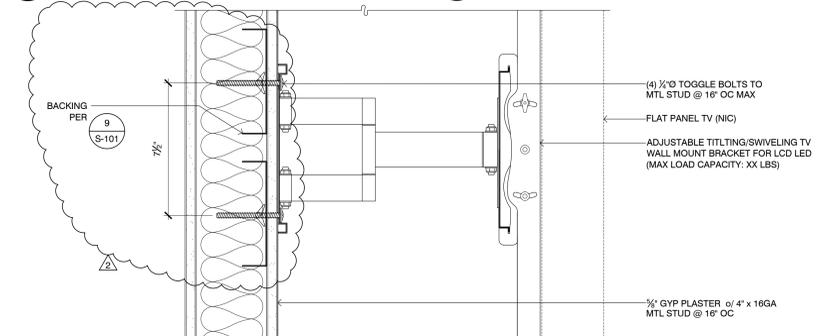
13 Wall Mount Marker Board
@ (E) Mtl Stud Wall
SCALE: 3" = 1'-0"



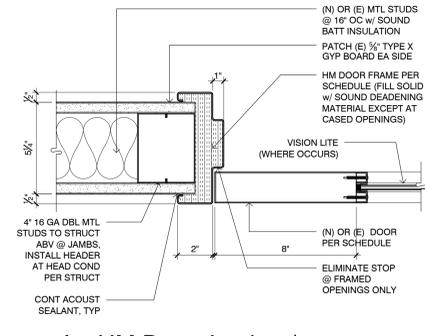
9 Column, Typ
SCALE: 1-1/2\"/>



4 Int HM Door Sill, Typ
SCALE: 3" = 1'-0"



10 Wall Mount TV Bracket @ Stud Wall
SCALE: 3" = 1'-0"



5 Int HM Door Jamb w/
Vision Lite (Head Sim)
SCALE: 3" = 1'-0"



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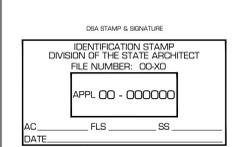
STEVE DOWDY, AIA
 PROJECT MANAGER
SHANNON BLOMST
 PROJECT MANAGER

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△	ADDENDUM NO 2	3/11/2016	SB
△		-/-/-	XX

DRAWN: SB
 CHECKED: SD
 DATE: 02/05/2016
 JOB NO: 15047
 SHEET: INTERIOR DETAILS
 TITLE:

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR				BASE			WAINSCOT			WALLS								CEILING				REMARKS					
		SUB FLOOR	FLOOR MATERIAL	FINISH	COLOR	MATERIAL	FINISH	COLOR	MATERIAL	FINISH	HEIGHT	NORTH		EAST		SOUTH		WEST		MATERIAL	FINISH	COLOR	HEIGHT						
												MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH						MATERIAL	FINISH			
115	CLASSROOM	F1	F5	FN1	C1	B1	FN1	C2	-	-	-	W1	FN4	P1	W1	FN4	P1	W1	FN4	P1	W3	FN1	C3	P1	CL4	FN1	-	10'-0"	-
115A	CLASSROOM	F1	F5	FN1	C1	B1	FN1	C2	-	-	-	W1	FN4	P1	W3	FN1	C3	P1	W1	FN4	P1	W1	FN4	P1	CL4	FN1	-	10'-0"	-
115B	SCIENCE OLYMPIAD STORAGE	F1	F5	FN1	C1	B1	FN1	C2	-	-	-	W1	FN3	P1	W1	FN3	P1	W1	FN3	P1	W1	FN3	P1	CL4	FN1	-	10'-0"	-	
115C	UNDERGRAD RESEARCH TESTING & CONST	F1	F5	FN1	C1	B1	FN1	C2	-	-	-	W1	FN4	P1	W1	FN4	P1	W1	FN4	P1	W1	FN4	P1	CL4	FN1	-	10'-0"	-	
116	TESTING LAB	F1	F5	FN1	C1	B1	FN1	C2	-	-	-	W1	FN4	P1	W1	FN4	P1	W1	FN4	P1	W1	FN4	P1	CL4	FN1	-	10'-0"	-	
117	STORAGE	F1	F5	FN1	C1	B1	FN1	C2	-	-	-	W1	FN3	P1	W1	FN3	P1	W1	FN3	P1	W1	FN3	P1	CL4	FN1	-	10'-0"	-	

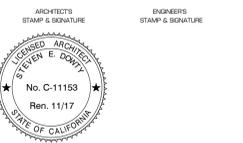
MATERIALS LEGEND		MISC COLOR LEGEND	
Sub floor, flooring	F1 (E) CONCRETE F2 CONCRETE F3 NOT USED F4 NOT USED F5 RESILIENT TILE FLOORING w/ ROLLED MOISTURE BARRIER	C1 RESILIENT TILE FLOORING, SHAW CONTRACT SURFACE AND STRAND SERIES, STYLE: 0515V SURFACE, COLORS: T.B.D. C2 ROPPE 4" "PINNACLE" RUBBER BASE w/ COVE, COLOR T.B.D. C3 FABRIC WALLCOVERING, CARNEGIE 'XOREL', STYLE: 6427 METEOR, COLOR: 766	
Base	B1 RESILIENT BASE B2 NOT USED		
Walls	W1 (E) GYP BOARD TO REMAIN, PATCH AS REQD W2 (N) 5/8" TYPE X GYP BRD W3 OPERABLE PARTITION		
Ceilings	CL1 NOT USED CL2 NOT USED CL3 NOT USED CL4 SUSPENDED ACOUSTIC PANEL CEILING 2' x 2' PANELS, (E) OR (N) IN PATCHED AREA		
Finish	FN1 FACTORY FINISH FN2 NOT USED FN3 PAINT TYPE P25B SEMI GLOSS, GLOSS LEVEL 40-60% ON 60" METER FN4 PAINT TYPE P25C EGGSHELL, GLOSS LEVEL 10-15% ON 60" METER FN4 PAINT TYPE P7B SEMI-GLOSS, GLOSS LEVEL 40-60% ON A 60" METER		
		PAINT COLOR LEGEND (P1) DUNN EDWARDS, PAINT COLOR: T.B.D. (WALLS & CEILINGS) (P2) DUNN EDWARDS, PAINT COLOR: T.B.D. (INTERIOR DOOR FRAMES) (P3) DUNN EDWARDS, PAINT COLOR: T.B.D. (INTERIOR DOORS) (P4) DUNN EDWARDS, PAINT COLOR: T.B.D. (EXTERIOR DOOR FRAMES) (P5) DUNN EDWARDS, PAINT COLOR: T.B.D. (EXTERIOR DOORS)	
		GENERAL NOTES 1. DIRECTIONAL LOCATIONS INDICATED ON ROOM FINISH SCHEDULES ARE ORIENTATED ACCORDING TO TRUE NORTH AS SHOWN ON PLAN 2. ALL WALLS TO BE PAINTED (P1) U.N.O. 3. ALL INTERIOR DOOR FRAMES TO BE PAINTED, FINISH: FN5, COLOR (P2) U.N.O. 4. ALL INTERIOR DOORS TO BE PAINTED, FINISH: FN5, COLOR (P3) U.N.O. 5. ALL EXTERIOR DOOR FRAMES TO BE PAINTED, FINISH: FN5, COLOR (P4) U.N.O. 6. ALL EXTERIOR DOORS TO BE PAINTED, FINISH: FN5, COLOR (P5) U.N.O.	



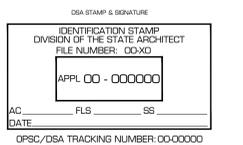
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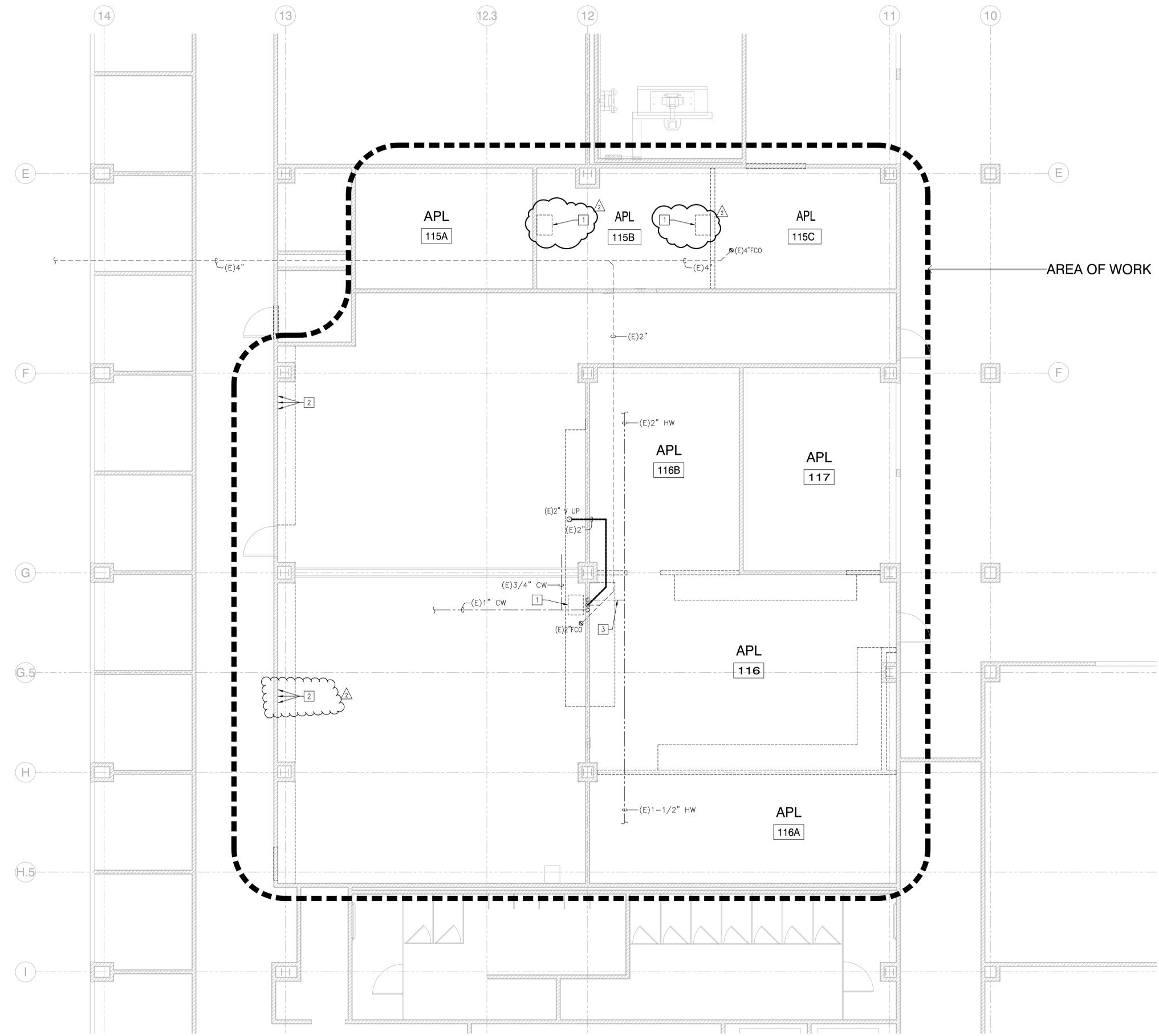
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 DATE: 02/05/2016
 JOB NO: 15047

SHEET TITLE: ROOM FINISH SCHEDULE

REFERENCE NOTES

- 1 REMOVE EXISTING FIXTURE AND ASSOCIATED PIPING IN WALL. CAP PIPING ABOVE CEILING AND BELOW FINISHED FLOOR.
- 2 REMOVE EXISTING MEDICAL AIR, OXYGEN AND MEDICAL VACUUM OUTLETS AT WALL AND ASSOCIATED PIPING IN WALL. CAP PIPING ABOVE CEILING.
- 3 REMOVE EXISTING DOMESTIC HOT WATER PIPE THAT ARE NOT IN USE TO THE NEAREST TEE AT THE MAIN LOOP. NO DEAD LEGS ALLOWED.

NOTE:
 EXACT SIZE, ELEVATION AND LOCATION OF EXISTING SHALL BE FIELD VERIFIED.



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 CHECKED: KC/AI
 DATE: 01/04/2016
 JOB NO: 18467

SHEET: PLUMBING DEMOLITION
 TITLE: FLOOR PLAN

SHEET

P-200

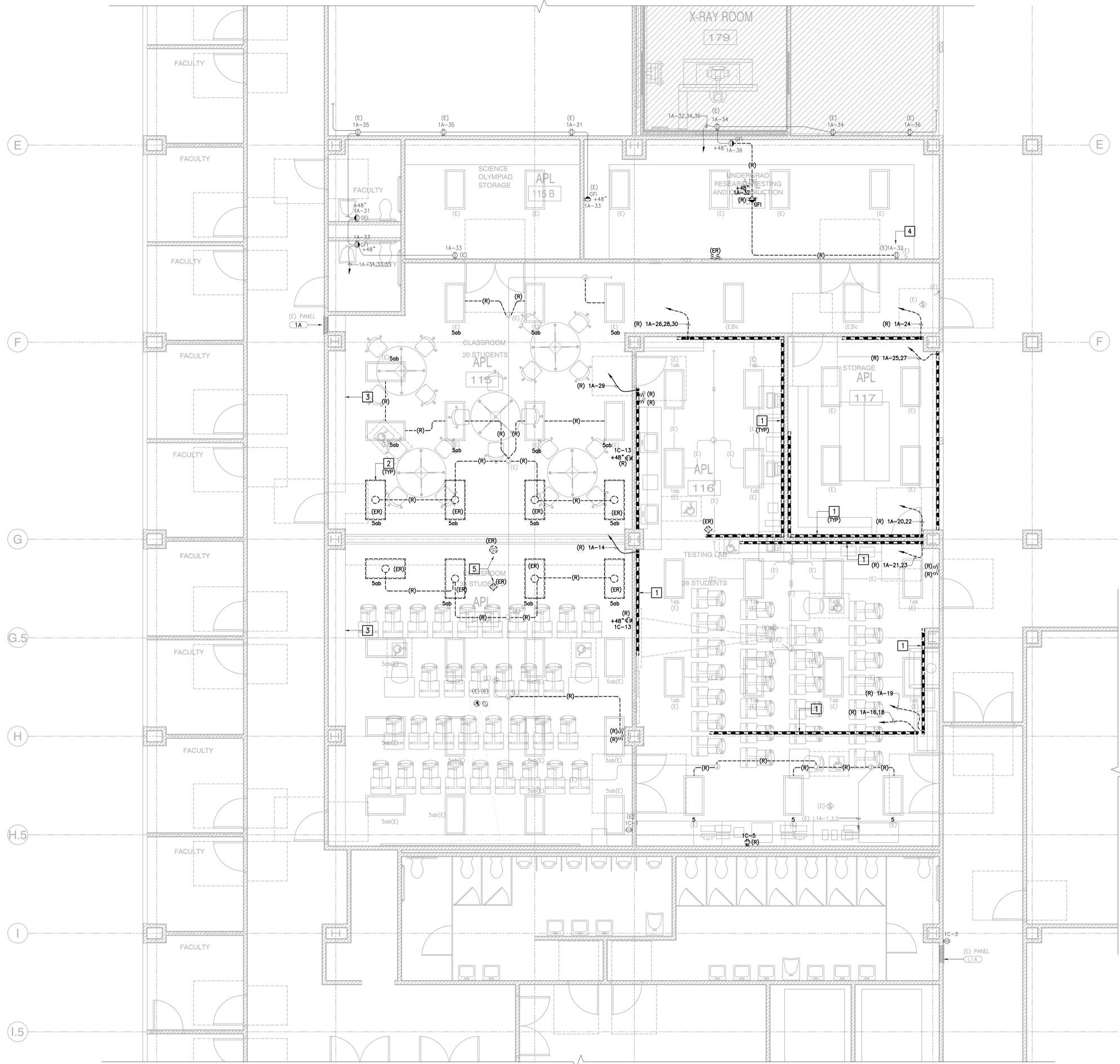
1 PARTIAL PLUMBING DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

PANEL (E)1A		PHASE 3	WIRE 4	MOUNTING FLUSH	DISTANCE : FT						
VOLTAGE 480 / 277		LOCATION CORRIDOR 111	CORRIDOR 144		POLES 42						
BUS AMPERE 225 AMP		FED FROM DS-1-1	MS-5		SPARE CAP 0 %						
MAIN C/B 225 AMP		MAIN TYPE AUTO C/B	AUTO C/B		SPARE CAP 0 %						
CK NO	DESCRIPTION	L T G	R E C	M T G	H T G	M T G	CIRCUIT BREAKER	A	B	C	CK NO
1	RMS 116.120.122.123.125						20 / 1	0.90			1
2	RMS 112.133.114.116.117						20 / 1	0.90			2
3	RMS 116.119.121.122.124						20 / 1	0.90			3
4	RMS 112.114.115.117& COOR 111						20 / 1	0.90			4
5	RMS 119.121.123.124						20 / 1	0.72			5
6	RMS 112.133.114.115.116						20 / 1	0.90			6
7	RMS 116.121.126& CORR. 111						20 / 1	0.90			7
8	PC, HI TECH TESTER - APL 116						20 / 1	0.72			8
9	RMS 116.118.120.12.124						20 / 1	0.90			9
10	FURNACE - APL 116						20 / 1	1.45			10
11	RMS 117.133.123.125						20 / 1	0.72			11
12	FURNACE - APL 116						20 / 1	1.45			12
13	3D PRINTER - APL 116						20 / 1	0.50			13
14	RM 126						20 / 1	1.26			14
15	3D BATH - APL 116						20 / 1	0.36			15
16	FUME HOOD - APL 116						20 / 1	0.50			16
17	ELEVATOR PIT						20 / 1	0.36			17
18	THERMO OVEN - APL 116						20 / 1	1.88			18
19	PROJECTOR - APL 116						20 / 1	0.80			19
20	EQPMNTS - APL 116						20 / 1	0.90			20
21	RECEPT - APL 117						20 / 1	0.36			21
22	PC - APL 116						20 / 1	0.36			22
23	INSTROM TESTER - APL 116						20 / 3	1.33			23
24	EQPMNTS - APL 116						20 / 1	1.00			24
25	WCKT# 23						20 / 1	1.33			25
26	LCD TV - APL 116						20 / 1	1.00			26
27	WCKT# 24						20 / 1	1.33			27
28	COLE PARMER BATH						20 / 1	1.88			28
29	SPARE						20 / 1	0.30			29
30	SPARE						20 / 1	0.00			30
31	RMS 136.137.140						20 / 1	0.90			31
32	RMS 132.133.140.142.144						20 / 1	1.44			32
33	RMS 140.137.133.134.135						20 / 1	1.08			33
34	RMS 140.142						20 / 1	0.90			34
35	RM 137						20 / 1	0.90			35
36	RMS 141.140.133						20 / 1	1.44			36
37	RM 142						30 / 3	3.00			37
38	SURGE PROTECTOR						20 / 3	0.10			38
39	W CKT #37						20 / 1	3.00			39
40	SURGE PROTECTOR						20 / 1	0.10			40
41	W CKT #37						20 / 1	3.00			41
42	SURGE PROTECTOR						20 / 1	0.10			42
CONN LOAD = 41.77 KVA		TOTAL BY PHASE (KVA) =		14.35	13.82	13.60					
MIN FDR = 116 AMP		MIN C/B =		116 AMP	LGST MTR = 0 AMP		SPARE = 0.00 KVA				
LCL(LTG+HTG) = 0.00 KVA		25% LCL = 0.00 KVA		CONN LOAD + 25% LCL =		41.77 KVA					

PANEL (E)1A		PHASE 3	WIRE 4	MOUNTING FLUSH	DISTANCE : FT						
VOLTAGE 480 / 277		LOCATION CORRIDOR 144	CORRIDOR 144		POLES 30						
BUS AMPERE 225 AMP		FED FROM MS-5	MS-5		SPARE CAP 0 %						
MAIN C/B 225 AMP		MAIN TYPE AUTO C/B	AUTO C/B		SPARE CAP 0 %						
CK NO	DESCRIPTION	L T G	R E C	M T G	H T G	M T G	CIRCUIT BREAKER	A	B	C	CK NO
1	RMS 115A.115B.115C.141.142.143.179.179						20 / 1	2.48			1
2	RMS 152.159.160.162.177.189-192						20 / 1	3.08			2
3	RMS 140.179-180						20 / 1	3.24			3
4	RMS 221-223.193.194. CORRIDOR						20 / 1	2.70			4
5	RMS 116, 116A						20 / 1	3.24			5
6	RMS 213.214.215						20 / 1	2.58			6
7	RMS 161.202						20 / 1	2.63			7
8	* EXTERIOR PERIMETER WALKWAY						20 / 1	0.79			8
9	RMS 161.202						20 / 1	2.59			9
10	CORRIDOR 111.144 & LOBBY 104						20 / 1	0.74			10
11	RMS 164.167-172						20 / 1	2.59			11
12	CORRIDOR 150 & LOBBY 218 & 216.217						20 / 1	2.71			12
13	* WALKWAY LIGHTING						20 / 1	2.62			13
14	* PARKING LOT LIGHTING						20 / 1	2.88			14
15	* WALKWAY LIGHTING						20 / 1	2.62			15
16	* PARKING LOT LIGHTING						20 / 1	2.88			16
17	* WALKWAY LIGHTING						20 / 1	2.75			17
18	* PARKING LOT LIGHTING						20 / 1	2.88			18
19	* PARKING LOT LIGHTING						20 / 1	2.88			19
20	TIME SWITCH & RELAYS						20 / 1	0.05			20
21	SPARE						20 / 1	0.00			21
22	SPARE						20 / 1	0.00			22
23	SPARE						20 / 1	0.00			23
24	SPARE						20 / 1	0.00			24
25	SPARE						20 / 1	0.00			25
26	SPARE						20 / 1	0.00			26
27	SPARE						20 / 1	0.00			27
28	SPARE						20 / 1	0.00			28
29	SPARE						20 / 1	0.00			29
30	SPARE						20 / 1	0.00			30
CONN LOAD = 48.94 KVA		TOTAL BY PHASE (KVA) =		17.41	14.77	16.76					
MIN FDR = 74 AMP		MIN C/B =		74 AMP	LGST MTR = 0 AMP		SPARE = 0.00 KVA				
LCL(LTG+HTG) = 48.89 KVA		25% LCL = 12.22 KVA		CONN LOAD + 25% LCL =		61.16 KVA					

* CIRCUIT CONTROLLED BY RELAY "A"
 ** CIRCUIT CONTROLLED BY RELAY "B"

PANEL (E)1C		PHASE 3	WIRE 4	MOUNTING FLUSH	DISTANCE : FT						
VOLTAGE 208 / 120		LOCATION 1ST FLR ELEC RM	108		POLES 42						
BUS AMPERE 225 AMP		FED FROM DS-1-3	DS-1-3		SPARE CAP 0 %						
MAIN C/B 225 AMP		MAIN TYPE AUTO C/B	AUTO C/B		SPARE CAP 0 %						
CK NO	DESCRIPTION	L T G	R E C	M T G	H T G	M T G	CIRCUIT BREAKER	A	B	C	CK NO
1	RMS 105.106.109.110.126						20 / 1	0.90			1
2	CORR 111 COUNTER						20 / 1	0.50			2
3	RMS 104.107.110.144						20 / 1	0.90			3
4	CORR 111 COUNTER						20 / 1	0.50			4
5	RMS 104.107.109.110.127						20 / 1	0.90			5
6	CORR 111 COUNTER						20 / 1	0.50			6
7	DRINKING FOUNTAIN						20 / 1	1.00			7
8	ELECTRIC DOOR OPERATOR						20 / 1	1.80			8
9	DRINKING FOUNTAIN						20 / 1	1.00			9
10	ELECTRIC DOOR OPERATOR						20 / 1	1.80			10
11	ELECTRIC DOOR OPERATOR						20 / 1	1.80			11
12	ELECTRIC DOOR OPERATOR						20 / 1	1.80			12
13	RECEPT - APL 115A						20 / 1	0.54			13
14	ELECTRIC DOOR OPERATOR						20 / 1	1.80			14
15	FOLDING FIRE DOOR						20 / 1	1.50			15
16	FOLDING FIRE DOOR						20 / 1	1.50			16
17	SPRINKLER CONTROL						20 / 1	0.10			17
18	TEMP CONTROL PANEL						20 / 1	0.10			18
19	FIRE ALARM CONTROL PANEL						20 / 1	0.50			19
20	MASTER CLOCK CONTROL PANEL						20 / 1	0.50			20
21	FIRE ALARM CONTROL PANEL						20 / 1	0.50			21
22	VAV BOXES						20 / 1	0.50			22
23	VAV BOXES						20 / 1	0.50			23
24	PODIUM - APL 115A						20 / 1	0.54			24
25	OPERABLE PARTITION WALL - APL 115						16 / 3	0.79			25
26	RECEPT - APL 115						20 / 1	0.36			26
27	WCKT# 24						20 / 1	0.79			27
28	SPARE						20 / 1	0.00			28
29	WCKT# 24						20 / 1	0.79			29
30	SPARE						20 / 1	0.00			30
31	SPARE						20 / 1	0.00			31
32	SPARE						20 / 1	0.00			32
33	SPARE						20 / 1	0.00			33
34	SPARE						20 / 1	0.00			34
35	SPARE						20 / 1	0.00			35
36	SPARE						20 / 1	0.00			36
37	SPARE						20 / 1	0.00			37
38	PANEL "D"						30 / 3	1.50			38
39	SPARE						20 / 1	0.00			39
40	PANEL "D"				</						



- ### REFERENCE NOTES
1. RALL EXISTING WIREMOLD, OUTLETS & DATA ON WIREMOLD AND RELATED CONDUITS TO BE REMOVED.
 2. EXISTING LIGHTS TO BE REMOVED AND RELOCATED. REFER TO NEW ELECTRICAL PLAN FOR NEW LOCATION AND CONTROL CONNECTIONS.
 3. SAFE-OFF AND CAP ALL (E) UTILITY LINES IN THE REMOVED UTILITY CHASE, CONCEAL IN FINISHES.
 4. EXISTING RECEPTACLE TO REMAIN. EXTEND CONDUIT AND CONNECT TO THE SAME CIRCUIT AFTER DEMOLITION.
 5. EXISTING CEILING MOUNTED ELECTRICAL DEVICES TO BE REMOVED AND RELOCATED ON NEW CEILING. SEE NEW ELECTRICAL PLAN FOR LOCATIONS.

- ### SHEET NOTES:
1. SCREENED ITEMS DENOTES EXISTING EQUIPMENT TO REMAIN IN PLACE U.O.N.
 2. BOLD ITEMS DENOTES DEMO WORK.



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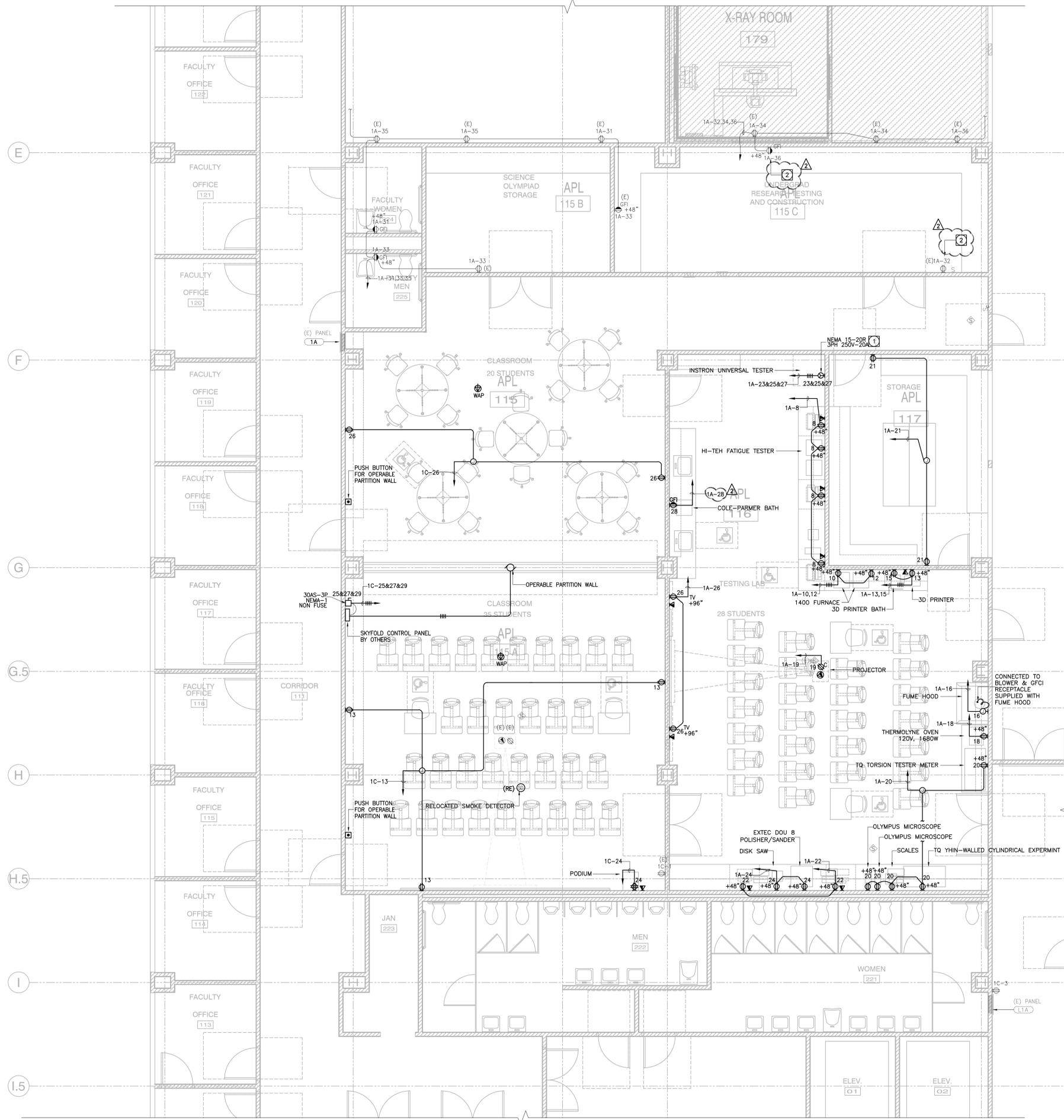
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 DRAWN: JHA-CALPEC
 CHECKED: KC/AI
 DATE: 01/04/2016
 JOB NO: 16467

SHEET TITLE PARTIAL ELECTRICAL DEMO PLAN

1 PARTIAL ELECTRICAL DEMO PLAN
 SCALE: 1/4" = 1'-0"





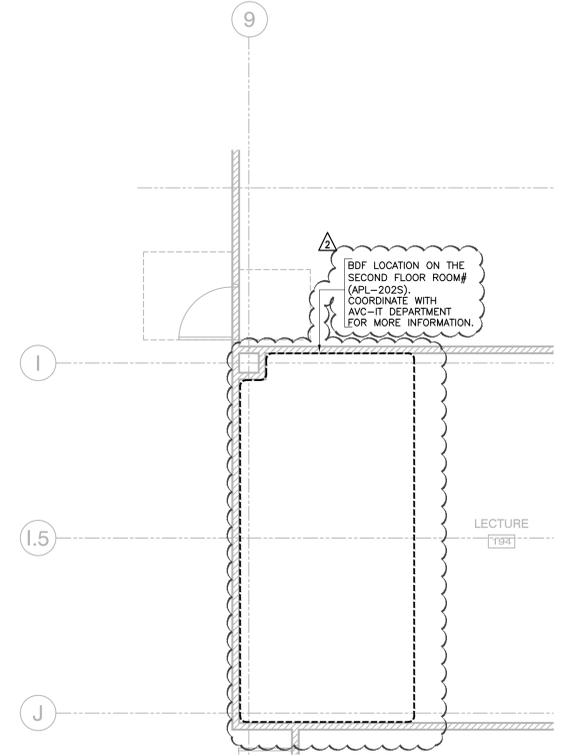
GENERAL NOTES

ALL VOICE/DATA CABLING SHALL BE TERMINATED IN BDF ROOM (ROOM# APL-2025) ON THE SECOND FLOOR, ACROSS CORRIDOR ON SOUTH SIDE OF THE ELEVATORS - FIELD VERIFY ON SITE. REFER TO DETAIL-2 IN THE SAME SHEET.

REFERENCE NOTES

1 CONTRACTOR TO PROVIDE MATCHING PLUG & CORD FOR EQUIPMENT CONNECTION.

2 EXISTING RECEPTACLES TO REMAIN. EXTEND CONDUIT AND RECONNECT WITH THE SAME CIRCUIT.



2 BDF ROOM
 SCALE: 1/4"=1'-0"



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 SPECIFIC ARCHITECT

SHANNON BLOMST
 PROJECT MANAGER

All ideas, design arrangements and plans indicated or implemented by this drawing are owned by and are the property of Krueger Bensen Ziemer, AIA, architects, and shall remain, unless and except as otherwise indicated, the property of Krueger Bensen Ziemer, AIA.



CONSULTANT INFORMATION

DATE STAMP & SIGNATURE

IDENTIFICATION STAMP
 DIVISION OF THE STATE ARCHITECT
 FILE NUMBER: 00X0

APPL 00 - 000000

AC: _____ FLS: _____ SS: _____
 DATE: _____

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△	-	-/-	XX
△	REVISION	DESCRIPTION	DATE
△	BY		

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